

6-13-17

ORDINANCE NO. 30491

An ordinance amending Article 714, "PD 714," of Chapter 51P, "Dallas Development Code: Planned Development District Regulations," of the Dallas City Code; amending the definitions, exhibits, development plan, use regulations and development standards in Subdistrict No. 4, street and sidewalk standards, and architectural design standards regulations in Sections 51P-714.104, 51P-714.105.1, 51P-714.107, 51P-714.111, 51P-714.115, and 51P-714.118 of Article 714; providing a development plan; providing a new main and accessory land use chart; providing a new development standards chart; providing a new street diagrams and landscaping; providing a Subdistrict 4B development plan; providing a penalty not to exceed \$2,000; providing a saving clause; providing a severability clause; and providing an effective date.

WHEREAS, the city plan commission and the city council, in accordance with the Charter of the City of Dallas, the state law, and the ordinances of the City of Dallas, have given the required notices and have held the required public hearings regarding this amendment to the Dallas City Code; and

WHEREAS, the city council finds that it is in the public interest to amend Article 714 as specified in this ordinance; Now, Therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DALLAS:

SECTION 1. That Section 51P-714.104, "Definitions," of Article 714, "PD 714," of Chapter 51P, "Dallas Development Code: Planned Development District Regulations," of the Dallas City Code is amended by adding a new Paragraph (14.4) to read as follows:

"(14.4) STOOP means a small porch leading to the entrance of a residential structure."

SECTION 2. That Section 51P-714.105.1, "Exhibits," of Article 714, "PD 714," of Chapter 51P, "Dallas Development Code: Planned Development District Regulations," of the Dallas City Code is amended to read as follows:

**"SEC. 51P-714.105.1. EXHIBITS.**

The following exhibits are incorporated into this article:

- (1) Exhibit 714A: Subdistrict boundary map.
- (2) Exhibit 714B: Verbal description of the district and subdistrict boundaries.
- (3) Exhibit 714C: Native and adapted xeriscape plants.
- (4) Exhibit 714D: Main and accessory land use chart.
- (5) Exhibit 714E: Development standards chart.
- (6) Exhibit 714F: Street diagrams and landscaping.
- (7) Exhibit 714G: Residential proximity slope illustration.
- (8) Exhibit 714H: Residential proximity slope illustration for Subdistrict 4A.
- (9) Exhibit 714I: Subdistrict 1C conceptual plan.
- (10) Exhibit 714J: Subdistrict 4B development plan.

SECTION 3. That Section 51P-714.107, "Development Plan," of Article 714, "PD 714," of Chapter 51P, "Dallas Development Code: Planned Development District Regulations," of the Dallas City Code is amended to read as follows:

**"SEC. 51P-714.107. DEVELOPMENT PLAN.**

(a) Except for Subdistrict 1C and Subdistrict 4B, no development plan is required, and the provisions of Section 51A-4.702 regarding submission of or amendments to a development plan, site analysis plan, conceptual plan, development schedule, and landscape plan do not apply.

(b) A development plan must be approved by the city plan commission before the issuance of any building permit to authorize[~~e~~] work in Subdistrict 1C and Subdistrict 4B. If there is a conflict between the text of this article and the development plan, the text of this article controls.

(c) For Subdistrict 1C, each development plan must comply with the requirements for a development plan listed in Section 51A-4.702 and include a tabulation box that includes:

- (1) existing, proposed, and total floor area for all Permissible Building Areas;
- (2) required and provided off-street parking for all permitted uses; and

(3) detail for all special temporary retail uses, inclusive of land area for each and required off-street parking; date of issuance of certificate(s) of occupancy, any 30-day extensions (noting revised off-street parking requirement for more than one 30-day extension). In lieu of a minor amendment to a development plan to comply with this paragraph, an analysis may be submitted for approval by the director that contains the information required by this paragraph.

(d) For single family uses in Subdistrict 4B:

(1) Development and use of the Property must comply with the Subdistrict 4B development plan (Exhibit 714J). If there is a conflict between the text of this article and the Subdistrict 4B development plan, the text of this article controls.

(2) Amendments to the Subdistrict 4B development plan must show the following:

(A) on-street inset parallel parking spaces along Fort Worth Avenue;

(B) a minimum 10-foot wide sidewalk on Fort Worth Avenue and minimum six-foot wide sidewalks on Colorado Boulevard and Walter Drive;

(C) street trees along Fort Worth Avenue, Colorado Boulevard, and Walter Drive; and

(D) minimum and maximum front yard setbacks on Fort Worth Avenue and minimum front yard setbacks on Colorado Boulevard and Walter Drive.”

SECTION 4. That Paragraph (9), “Residential Uses,” of Subsection (a), “Uses,” of Section 51P-714.111, “Use Regulations and Development Standards in Subdistrict No. 4,” of Article 714, “PD 714,” of Chapter 51P, “Dallas Development Code: Planned Development District Regulations,” of the Dallas City Code is amended to read as follows:

“(9) Residential uses.

- Live/work unit. *[Subdistricts 4A and 4B only.] [The non-residential portion of a live/work unit is considered an office use or a retail and personal service use for purposes of a mixed-use project.]*
- Multifamily. *[Only as a component of a mixed-use project.] [In Subdistrict 4B, the sales/leasing office of a multifamily use is considered a retail and personal service use.]*
- Retirement housing. *[RAR]*
- Single family. *[Except for Subdistrict 4B, a[A] minimum of eight single family structures must be attached together with a minimum of 15 feet between each group of eight single family structures. In Subdistrict 4B, a minimum of six single family structures must be attached with a minimum of 15 feet between each group of single family structures. In Subdistrict[s] 4A [~~and 4B~~], this only applies to single family structures located in the front yard setback area of Fort Worth Avenue. Except in Subdistrict 4B, s[S]ingle family detached structures are prohibited. In Subdistrict 4B a maximum of 7.5 percent of single family structures may be detached or occur in groupings of fewer than six structures.”*

SECTION 5. That Subsection (b), “Accessory Uses,” of Section 51P-714.111, “Use Regulations and Development Standards in Subdistrict No. 4,” of Article 714, “PD 714,” of Chapter 51P, “Dallas Development Code: Planned Development District Regulations,” of the Dallas City Code is amended by adding a new Paragraph 3 to read as follows:

“(3) In Subdistrict 4B, an accessory community center (private) is a permitted accessory use in conjunction with a shared access development.”

SECTION 6. That Subsection (c), “Yard, Lot, and Space Regulations,” of Section 51P-714.111, “Use Regulations and Development Standards in Subdistrict No. 4,” of Article 714, “PD 714,” of Chapter 51P, “Dallas Development Code: Planned Development District Regulations,” of the Dallas City Code is amended to read as follows:

“(c) Yard, lot, and space regulations.

(Note: The yard, lot, and space regulations in this subsection must be read together with the yard, lot, and space regulations in Division 51A-4.400, “Yard, Lot, and Space Regulations.” In the event of a conflict between this subsection and Division 51A-4.400, this subsection controls.)

(1) Front yard.

(A) Minimum front yard.

(i) Except as provided in this subparagraph, minimum front yard is 15 feet.

(ii) Except as provided in this subparagraph, in Subdistrict[s] 4A [~~and 4B~~], no minimum front yard setback is required.

(iii) In Subdistrict 4B, minimum front yard setback [~~from Colorado Boulevard and Walter Drive~~] is five feet. Steps, stoops, porches, and associated railings may extend a maximum of five feet into the required minimum front yard.

(B) Maximum front yard.

(i) Maximum front yard from Fort Worth Avenue is 50 feet.

(ii) Except as provided in this subparagraph, in Subdistricts 4A and 4B, maximum front yard is 50 feet.

(iii) In Subdistrict 4A, maximum front yard is 100 feet on all right-of-ways other than Fort Worth Avenue or rights-of-way adjacent to Fort Worth Avenue if no more than one row of off-street parking is located in the setback. In Subdistrict[s] 4A [~~and 4B~~], if a public right-of-way is dedicated adjacent to the existing Fort Worth Avenue right-of-way, maximum front yard is 50 feet measured from the Fort Worth Avenue right-of-way shown on the Subdistrict 4A [~~and 4B~~] existing Fort Worth Avenue right-of-way exhibit (Exhibit 714F[I]).

(iv) In Subdistrict 4B, no maximum front yard for Walter Drive or Colorado Boulevard.

(C) Setback areas. In Subdistricts 4A and 4B, structures fronting Fort Worth Avenue or a right-of-way dedicated adjacent to Fort Worth Avenue must be located within the Fort Worth Avenue setback area for at least 60 percent of the lot width. In Subdistrict 4A, structures fronting current or future right-of-way dedications must be located within the setback area for at least 60 percent of the lot width. In Subdistrict 4B, the remainder of the front facade must comply only with the minimum front yard setback. [~~structures fronting Walter Drive or Colorado Boulevard must be located within the setback area for at least 60 percent of the street frontage width.~~] The setback area is the area between the minimum and maximum front yard setbacks.

(D) Garage door.

(1) Subdistrict 4A. A [~~In Subdistricts 4A and 4B, a~~] residential use may not have a garage door facing the front lot line.

(2) Subdistrict 4B.

(i) Residential uses within 50 feet of Fort Worth Avenue may not have a garage door facing Fort Worth Avenue.

(ii) Residential uses may not have a garage door facing Colorado Boulevard or Walter Drive.

(E) Street car/trolley shelter. In Subdistricts 4A and 4B, a street car/trolley shelter is exempt from the front yard requirements, but must be at least five feet from the edge of a roadway.

(2) Side and rear yard.

(A) Except as provided in Subparagraph (B), minimum side and rear yard is:

(i) 20 feet where adjacent to or directly across an alley from an R, R(A), D, D(A), TH, TH(A), CH, MF, or MF(A) district or a residential use (but not a mixed-use project with a residential component); [~~and~~]

(ii) 15 feet in Subdistrict 4B; and

(iii) no minimum in all other cases.

(B) Except in Subdistrict[s] 4A [~~and 4B~~], an additional side and rear yard setback of one foot for each two feet in height above 45 feet is required for that portion of a structure above 45 feet in height, up to a total setback of 30 feet.

(C) In Subdistricts 4A and 4B, a carport is allowed within the side or rear yard setback. Carports must remain open. Storage of items other than motor vehicles within a carport is prohibited.

(D) In Subdistricts 4A and 4B, a streetcar/trolley shelter is exempt from the side and rear yard requirements, but must be at least five feet from the edge of a roadway.

(3) Density.

(A) No maximum dwelling unit density.

(B) Minimum dwelling unit size is 450 square feet.

(4) Floor area ratio.

(A) Except as provided in this subsection, m[M]aximum floor area ratio (FAR) varies depending on whether the development is a mixed-use project as follows:

[Note: The first column is the base FAR, which applies when there is no mixed-use project. The second column (MUP=2/no res.) is the FAR for a mixed-use project with a mix of two use categories when neither category is residential. The third column (MUP=2/with res.) is the FAR for a mixed-use project with a mix of residential plus one other use category. The fourth column (MUP=3/with res.) is the FAR for a mixed-use project with a mix of residential plus two or more other use categories. A mixed-use project with three use categories must include a residential use.]

Use category	Base (no MUP)	MUP=2 (no res.)	MUP=2 (with res.)	MUP=3 (with res.)
Lodging	1.6	2.5	3.0	3.5
Office	1.6	2.5	3.0	3.5
Residential	1.6	--	3.0	3.5
Retail and personal service	1.0	1.1	1.2	1.3
Total	--	2.5	3.0	3.5

(B) A street car/trolley shelter is not counted as floor area.

(C) No maximum floor area ratio for a shared access development in Subdistrict 4B.

(5) Height.(A) Subdistrict 4.

(i) Residential proximity slope. If any portion of a structure is over 26 feet in height, that portion may not be located above a residential proximity slope. Except for chimneys, structures listed in Section 51A-4.408(a)(2) may project through the slope to a height not to exceed the maximum structure height, or 12 feet above the slope, whichever is less. Chimneys may project through the slope to a height 12 feet above the slope and 12 feet above the maximum structure height. A mounted cellular antenna may exceed residential proximity slope if located atop an existing structure that is nonconforming to residential proximity slope.

(ii) Maximum height. Maximum structure height is 180 feet.

(iii) Temporary cellular unit. A temporary cellular unit must comply with the yard, lot and space regulations of the district and may not exceed the height of the existing tower/antenna for cellular communication use to be removed. Lightning rods atop a temporary cellular unit are not included in height calculations. A temporary cellular unit is not subject to the residential proximity slope. If a temporary cellular unit collocates existing operators on a single vertical temporary cellular unit, the following regulations apply:

(aa) If the height of the existing mounted cellular antenna to be removed is less than the maximum structure height of the district, the maximum structure height may extend an additional 10 feet in height for each existing operator above one, not to exceed the maximum structure height of the district.

(bb) If the height of the existing mounted cellular antennas to be removed is equal to or exceeds the maximum structure height of the district, the maximum height of the temporary cellular unit may not exceed the height of the existing mounted cellular antennas to be removed.

(B) Subdistrict 4A.(i) Residential proximity slope.

(aa) Except as otherwise provided in this subparagraph, if any portion of a structure is over 20 feet in height, that portion may not be located above a residential proximity slope. The residential proximity slope is a plane projected upward and outward at a one-to-two slope beginning at a point seven feet above grade at the site of origination, as shown on Exhibit 714G.

(bb) The residential proximity slope is infinite.

(cc) The residential proximity slope does not apply to a residential use 40 feet in height or less.



(dd) Except for chimneys, structures listed in Section 51A-4.408(a)(2) may project through the residential proximity slope to a height not to exceed the maximum structure height, or 12 feet above the residential proximity slope, whichever is less. Chimneys may project through the residential proximity slope to a height 12 feet above the residential proximity slope and 12 feet above the maximum structure height.

(ee) The residential proximity slope applies only to MF-1(A) adjacency. For the southernmost portion of this subdistrict, the site of origination is the north and northwest lines of the Wedglea Creek Addition as shown on Exhibit 714H.

(ii) Maximum height. Maximum structure height is 180 feet.

(C) Subdistrict 4B.

(i) Residential proximity slope.

(aa) Except as otherwise provided in this subparagraph, if any portion of a structure is over 20 feet in height, that portion may not be located above a residential proximity slope. The residential proximity slope is a plane projected upward and outward at a one-to-two slope beginning at a point seven feet above grade at the site of origination, as shown on Exhibit 714G.

(bb) The residential proximity slope terminates 150 feet from the site of origin.

(cc) Except for chimneys, structures listed in Section 51A-4.408(a)(2) may project through the residential proximity slope to a height not to exceed the maximum structure height, or 12 feet above the residential proximity slope, whichever is less. Chimneys may project through the residential proximity slope to a height 12 feet above the residential proximity slope and 12 feet above the maximum structure height.

(ii) Maximum height. Except as provided in this romanette, maximum structure height is 42[50] feet. The highest point of a structure with a gable, hip, gambrel, or dome roof may project a maximum of 12 feet above the maximum height.

(6) Lot coverage.

(A) Except as provided in this paragraph, maximum lot coverage is 80 percent.

(B) In Subdistricts 4A and 4B, maximum lot coverage is 90 percent. Subdistrict 4B is considered to be a multifamily district for lot coverage purposes in accordance with Section 51A-4.411.

(C) Aboveground parking structures are included in lot coverage calculations; surface parking lots and underground parking structures are not.

(7) Lot size. No minimum lot size.

(8) Stories.

(A) Maximum number of stories above grade is 12, except that maximum number of stories above grade in Subdistrict 4B is three.

(B) Parking garages are exempt from this paragraph, but must comply with the height regulations of Paragraph (5)."

SECTION 7. That Section 51P-714.111, "Use Regulations and Development Standards in Subdistrict No. 4," of Article 714, "PD 714," of Chapter 51P, "Dallas Development Code: Planned Development District Regulations," of the Dallas City Code is amended by adding a new Subsection (g), "Shared Access Development," to read as follows:

"(g) Shared access development. In Subdistrict 4B, a maximum of 62 units may be platted in a single shared access development with a minimum of two access points."

SECTION 8. That Subsection (b), "Street Standards," of Section 51P-714.115, "Street and Sidewalk Standards," of Article 714, "PD 714," of Chapter 51P, "Dallas Development Code: Planned Development District Regulations," of the Dallas City Code is amended to read as follows:

"(b) Street standards.

(1) Except as provided in this section, streets must be constructed as shown in Exhibit 714F. If future right-of-way dedications are made in Subdistrict[s] 4A [~~and 4B~~], the pavement width for new streets must be in accordance with Exhibit 714F. Parallel parking must be provided as shown in Exhibit 714F. This provision does not apply in Subdistrict 1C.

(2) Vehicular a[A]ccess to and from Subdistrict 4B is restricted to Colorado Boulevard and Walter Drive [~~is permitted only at the locations in existence on February 24, 2010~~].

(3) The following frontages are exempt from parallel parking requirements:

(A) The Fort Worth Avenue frontage of Block B/3926 between Neal Street and [~~at~~] Montclair Avenue.

(B) The Fort Worth Avenue frontage of Block 6157 and Block 6156.

(C) The Fort Worth Avenue frontage of Block 3977 between Windomere Avenue and Edgefield Avenue.

(D) The Fort Worth Avenue frontage and the Sylvan Avenue frontage of Block 4015.

(E) Any location where the provision of parallel parking would require a retaining wall in excess of four feet.

(F) Street frontages in Subdistricts 4A and 4B.

(4) In Subdistrict 4B, a slip street is prohibited in the area between Fort Worth Avenue and buildings fronting Fort Worth Avenue.

SECTION 9. That Subsection (d), "Building Orientation," of Section 51P-714.118, "Architectural Design Standards," of Article 714, "PD 714," of Chapter 51P, "Dallas Development Code: Planned Development District Regulations," of the Dallas City Code is amended to read as follows:

“(d) Building orientation.

(1) Except as provided in 51A-714.118(e)(3), the primary facade and primary entrance of new construction must be oriented to face the public right-of-way. In Subdistrict 4B, the primary facade and primary entrance of new construction must be oriented to face Fort Worth Avenue.

(2) Except as provided in 51P-714.111(c)(1)(D), g[G]arage doors serving eight or fewer dwelling units may not face West Commerce Street or Fort Worth Avenue. In Subdistrict 1C, this provision applies only to individual vehicular garages for residential dwelling units.

SECTION 10. That Subsection (f), "Facades," of Section 51P-714.118, "Architectural Design Standards," of Article 714, "PD 714," of Chapter 51P, "Dallas Development Code: Planned Development District Regulations," of the Dallas City Code is amended to read as follows:

“(f) Facades.

(1) Street-facing facades on a single development tract must have similar architectural design.

(2) Except as provided in this paragraph, s[S]treet-facing facades exceeding 30 feet in length must have two of the following elements. Street-facing facades exceeding 100 feet in length must have four of the following elements. Street facing facades on single family uses in Subdistrict 4B must have at least two of the following elements.

(A) Change in plane, such as an offset, reveal, recess, or projection. Changes in plane must have a width of no less than 24 inches and a depth of at least eight inches and may include columns, planters, arches, and niches.

(B) Architectural details such as raised bands and cornices.

(C) Architecturally prominent public entrance.

(D) Attached tower or turret.

(E) Awnings.

(F) Change in color.

(G) Change in material.

(H) Change in texture.

(3) The ground floor of the primary facade of nonresidential uses or mixed-use projects with retail uses on the ground floor must have at least two of the following elements for at least 60 percent of the width of the facade:

(A) Arcades, canopies, or secondary roofs to provide shade.

(B) Display windows.

(C) Awnings associated with windows or doors.

(4) Except in Subdistrict 1C and Subdistrict 4B, street-facing facades of all buildings other than accessory buildings must be visually divided into a base, a middle, and a top. The base must be at least two feet above grade and distinguished from the middle by a change of materials, horizontal banding, change of color, or change of plane. The top must be distinguished from the middle by cornice treatments, roof overhangs with brackets, stepped parapets, corbeling, textured materials, or differently colored materials. Color bands are not acceptable as the only treatment for the top.

(5) Accessory structures must have the same architectural detail, design elements, materials, and roof design as the primary structure.

(6) Except as provided in this paragraph, any parking structure for a residential use must be constructed of comparable materials and be of the same architectural treatment as the dwelling units. In Subdistrict 4A, this provision only applies to a facade facing a public street.

(7) Additions and alterations must have the same architectural detail, design elements, materials, and roof design as the portion of the structure that is not being altered.

(8) That portion of the ground-level floor facing the street of any multi-floor parking facility must have a use other than parking. For Permissible Building Area E in Subdistrict 1C, a minimum of 50 percent of the ground-level western facade must be a use other than parking.

(9) Except in Subdistrict 1C, at least 20 percent, but no more than 80 percent, of street-facing facades of nonresidential uses must be windows and doors. In Subdistrict 1C, at least 20 percent, but no more than 80 percent, of non-street level facades of nonresidential uses must be windows and doors, except for residential portions of mixed-use structures. Windows and doors on street-level facades in Subdistrict 1C must be provided as follows:

	Permissible Building Area A	Permissible Building Area B	Permissible Building Area C	Permissible Building Area D
Minimum transparency required**	50% facing Sylvan*	50% facing Sylvan	50% facing Sylvan	60% facing Fort Worth Ave

\* See SEC. 51P-714.118(e)(3) for additional requirements.

\*\* For purposes of calculating the minimum transparency required, glazing must be located a minimum of 3 feet and a maximum of 10 feet above grade.

(10) Except as provided in this paragraph, if a building is two stories or less, 30 percent of the street-facing facade, excluding fenestration, must be masonry. If the building is more than two stories, 100 percent of the first-story street-facing facade, excluding fenestration, must be masonry. In Subdistrict 1C, metal and stucco are allowed in addition to masonry on up to 50 percent of the total area of street-facing facade per street frontage. In Subdistrict 4B, 75 percent of the first-story street-facing facade, excluding fenestration, must be masonry.

(11) Facades may not consist of more than 80 percent glass. For purposes of this provision, glass block is not considered as glass.

(12) Within Permissible Building Area E in Subdistrict 1C, vehicular access must be provided from west to east.

(13) Within Permissible Building Area E in Subdistrict 1C, a minimum of 50 percent of the ground floor of any parking structure oriented to and visible from the east boundary line of Subdistrict 1C must be screened by plant material.

(14) In Subdistrict 1C, facades oriented to Sylvan Avenue and Ft. Worth Avenue may have overhead garage-type doors if the doors do not open to an automotive use.

(15) In Subdistrict 4B, facades of single family structures that face Walter Drive or Colorado Boulevard must have a minimum 10 percent fenestration.

SECTION 11. That Subsection (g), “Fences and Walls,” of Section 51P-714.118, “Architectural Design Standards,” of Article 714, “PD 714,” of Chapter 51P, “Dallas Development Code: Planned Development District Regulations,” of the Dallas City Code is amended to read as follows:

“(g) Fences and walls.

(1) In general. To prevent visual monotony, at least 20 percent of the length of any fence or wall longer than 200 feet must be alternate materials, alternate textures, gates, offsets, or openings. The alternate materials, alternate textures, gates, offsets, or openings may spread out over the length of the fence or wall.

(2) Subdistrict 4B.

(i) A maximum four-foot-high fence is allowed in a front yard and must have fence panels with surface areas that are a minimum of 50 percent open.

(ii) Fences must be decorative metal (for example, wrought iron).

(iii) Columns must be decorative metal, brick, stone, or masonry.

(iv) A maximum three-foot-high handrail may be located on maximum four-foot-high retaining walls in a front yard.”

SECTION 12. That the main and accessory land use chart, Exhibit 714D of Article 714, “PD 714,” of Chapter 51P of the Dallas City Code, is replaced by the Exhibit 714D attached to this ordinance.

SECTION 13. That the development standards chart, Exhibit 714E of Article 714, “PD 714,” of Chapter 51P of the Dallas City Code, is replaced by the Exhibit 714E attached to this ordinance.

SECTION 14. That the street diagrams and landscaping, Exhibit 714F of Article 714, "PD 714," of Chapter 51P of the Dallas City Code, is replaced by the Exhibit 714F attached to this ordinance.

SECTION 15. That development of this district must comply with the full-scale version of Exhibit 714J (Subdistrict 4B development plan) attached to this ordinance. A reduced-sized version of this plan shall be provided in Chapter 51P. Permits shall be issued based on information provided on the full-scale version of the plan.

SECTION 16. That a person who violates a provision of this ordinance, upon conviction, is punishable by a fine not to exceed \$2,000.

SECTION 17. That Chapter 51P of the Dallas City Code, as amended, shall remain in full force and effect, save and except as amended by this ordinance.

SECTION 18. That the terms and provisions of this ordinance are severable and are governed by Section 1-4 of Chapter 1 of the Dallas City Code, as amended.

SECTION 19. That this ordinance shall take effect immediately from and after its passage and publication, in accordance with the Charter of the City of Dallas, and it is accordingly so ordained.

APPROVED AS TO FORM:

LARRY E. CASTO, City Attorney

By \_\_\_\_\_  
Assistant City Attorney

JUN 14 2017

Passed \_\_\_\_\_

**EXHIBIT 714D  
MAIN AND ACCESSORY LAND USE CHART**

30491

170958

Land Use Category	SUB-DISTRICT 1	SUB-DISTRICT 2	SUB-DISTRICT 3	SUB-DISTRICT 4	SUB-DISTRICT 5
<b>AGRICULTURAL USES</b>					
Animal production					
Commercial stable					
Crop production	•	•	•	•	•
Private stable					
<b>COMMERCIAL AND BUSINESS SERVICE USES</b>					
Building repair and maintenance shop	•				
Bus or rail transit vehicle maintenance or storage facility					
Catering service	•	•	•	•	•
Commercial cleaning or laundry plant			Subdistrict 4B only		
Custom business services	•	•	Subdistrict 4A only		•
Custom woodworking, furniture construction, or repair	•	Subdistrict 2A only	•		•
Electronic service enter	•				
Job or lithographic printing	•	•			•
Labor Hall					
Machine or welding shop	•				
Machinery, heavy equipment, or truck sales and services					
Medical or scientific laboratory	•				
Technical school					
Tool or equipment rental [3,500 sq. ft. or less]	•				
Vehicle or engine repair or maintenance	<b>SUP</b>				•

RAR = Residential adjacency review  
 DIR = Development impact review  
 CC Res. = City Council resolution required  
 Prohib. = Prohibited

• = Allowed by right  
 Blank = Not a permitted use  
 SUP = Specific use permit required  
 ★ = Consult use regulations in Division 51A-4.200 or Other Specified Section  
 SABO = Special authorization of the Building Official



Land Use Category	SUB-DISTRICT 1	SUB-DISTRICT 2	SUB-DISTRICT 3	SUB-DISTRICT 4	SUB-DISTRICT 5
-------------------	----------------	----------------	----------------	----------------	----------------

<b>INDUSTRIAL USES</b>					
Industrial (inside) not potentially incompatible	SUP				
Industrial (inside) potentially incompatible					
Industrial (inside) light manufacturing	•				
Industrial (outside) not potentially incompatible					
Industrial (outside) potentially incompatible					
Medical/infectious waste incinerator					
Metal salvage facility					
Mining					
Municipal waste incinerator					
Organic compost recycling facility					
Outside salvage or reclamation					
Pathological waste incinerator					
Temporary concrete or asphalt batching plant	SABO	SABO	SABO	SABO	SABO
<b>INSTITUTIONAL AND COMMUNITY SERVICE USES</b>					
Adult day care facility	•	•	•	•	•
Cemetery or mausoleum	SUP	SUP	SUP	SUP	SUP
Child-care facility	•	•	•	•	•
Church	•	•	•	•	•
College, university, or seminary	•	•	•	•	•
Community service center	SUP	SUP	SUP	SUP	SUP
Convalescent and nursing homes, hospice care, and related institutions	RAR	SUP	RAR	SUP	RAR
Convent or monastery	•	SUP	•	SUP	•
Foster home					
Halfway house					
Hospital	RAR				RAR
Library, art gallery or museum	•	•	•	•	•
Public school other than open-enrollment charter school	SUP	SUP	SUP	SUP	SUP
Private school or Open-enrollment charter	SUP	SUP	SUP	SUP	SUP

Land Use Category	SUB-DISTRICT 1	SUB-DISTRICT 2	SUB-DISTRICT 3	SUB-DISTRICT 4	SUB-DISTRICT 5
<b>LODGING USES</b>					
Extended stay hotel or motel	SUP ★	SUP SUP		SUP Subdistrict 4A only	SUP ★
Hotel and motel [*SUP required for less than 60 rooms]					
Lodging or boarding house					
Overnight general purpose shelter					
<b>MISCELLANEOUS USES</b>					
Attached non-premise sign					
Carnival or circus (temporary)					
Detached non-premise sign					
Hazardous waste management facility					
Placement of fill material					
Temporary construction or sales office	•	•	•	•	•
<b>OFFICE USES</b>					
Financial institution without drive-in window	•	•	•	•	•
Financial institution with drive-in window	DIR	DIR	DIR	DIR	DIR
Medical clinic or ambulatory surgical center	•	•	•	•	•
Office	•	•	•	•	•
<b>RECREATION USES</b>					
Country club with private membership	•	SUP	•	SUP	•
Private recreation center, club or area	•	RAR	•	RAR	•
Public park, playground, or golf course	•	•	•	•	•
<b>RESIDENTIAL USES</b>					
College dormitory, fraternity, or sorority house	•		•		•
Duplex					
Group residential facility					
Handicapped group dwelling unit					
Live/work unit [The non-residential portion of a live/work unit is considered an office use or a retail and personal service use for purposes of a mixed-use project.]				Subdistrict 4A, 4B only	
Manufactured home park, manufactured home subdivision, or campground					
Multifamily [*As part of a mixed-use project. See ordinance.]	★	★	★	★	★
Residential hotel					

Land Use Category		SUB-DISTRICT	SUB-DISTRICT	SUB-DISTRICT	SUB-DISTRICT	SUB-DISTRICT
		1	2	3	4	5
Retirement housing		RAR	RAR	RAR	RAR	RAR
Single family [*Eight (8) connected units only. See ordinance. For Subdistrict 4B, six connected units, with exceptions, see ordinance]		★	★	★	★	★
<b>RETAIL AND PERSONAL SERVICE USES</b>						
Ambulance service						
Animal shelter or clinic without outside runs		RAR	RAR	RAR	SUP Subdistrict 4A only	RAR
Animal shelter or clinic with outside runs			Subdistrict 2B by SUP			SUP
Auto service center		SUP		SUP		SUP
Alcoholic beverage establishments [*See 51A-4.210(b)(4)]						
Business school		•			Subdistrict 4A only	•
Car wash						•
Commercial amusement (inside)		SUP	Subdistrict 2B by SUP	SUP	SUP Subdistrict 4A only	SUP
▪ Bingo parlor		Prohib.	Prohib.	Prohib.	Prohib.	Prohib.
▪ Billiard hall		Prohib.	Prohib.	Prohib.	Prohib.	Prohib.
▪ Class "E" dance hall		Prohib.	Prohib.	Prohib.	Prohib.	Prohib.
▪ Motor track		Prohib.	Prohib.	Prohib.	Prohib.	Prohib.
Commercial amusement (outside)						
Commercial parking lot or garage		SUP				
Commercial motor vehicle parking						
Drive-in theater						
Dry cleaning or laundry store		•	•	•	•	•
Furniture store		•	•	•	•	•
General merchandise or food store 3,500 s.f. or less		•	•	•	•	•
General merchandise or food store greater than 3,500 s.f.		•	•	•	Subdistrict 4A only	•
General merchandise or food store greater than 100,000 s.f.					Subdistrict 4A only	SUP
Home improvement center, lumber, brick or building materials sales yard		SUP				•
Household equipment and appliance repair		•	•	•		•
Liquor store						

Land Use Category	SUB-DISTRICT 1	SUB-DISTRICT 2	SUB-DISTRICT 3	SUB-DISTRICT 4	SUB-DISTRICT 5
Mortuary, funeral home, or commercial wedding chapel					
Motor vehicle fueling station	•	RAR	•	RAR	•
Nursery, garden shop, or plant sales	•	•	•	•	•
Outside sales					
Pawn shop			Subdistrict 3A only		
Personal service uses	•	•	•	•	•
▪ Massage Establishment	Prohib.	Prohib.	Prohib.	Prohib.	Prohib.
▪ Piercing Salon	Prohib.	Prohib.	Prohib.	Prohib.	Prohib.
▪ Tattoo Studio	Prohib.	Prohib.	Prohib.	Prohib.	Prohib.
Restaurant without drive-in or drive-through service	RAR	RAR	RAR	RAR	RAR
Restaurant with drive-in or drive-through service	DIR		DIR	DIR or by SUP in Subdistrict 4B only	DIR
Restaurant less than or equal to 2,000 s.f. without drive-in or drive-through service				RAR Subdistrict 4B only	
Restaurant greater than 2,000 square feet without drive-in or drive-through service				SUP Subdistrict 4B only	
Surface parking					
Swap or buy shop					
Taxidermist					
Temporary retail use	•	•	•	•	•
Theater	•		•	SUP Subdistrict 4A only	•
Truck stop					
Vehicle display, sales, and service					SUP
<b>TRANSPORTATION USES</b>					
Airport or landing field					
Commercial bus station and terminal					
Heliport					
Helistop					
Private street or alley	SUP	SUP		SUP	

Land Use Category	SUB-DISTRICT 1	SUB-DISTRICT 2	SUB-DISTRICT 3	SUB-DISTRICT 4	SUB-DISTRICT 5
Street car/trolley shelter				Subdistrict 4A, 4B only	
Railroad passenger station					
Railroad yard, roundhouse, or shops					
STOL (short takeoff or landing) port					
Transit passenger shelter	•	•	•	•	•
Transit passenger station or transfer center (Sec. 51A-4.211(10))	★	★	★	SUP in Subdistrict 4A and 4B only or ★	★
<b>UTILITY AND PUBLIC SERVICE USES</b>					
Commercial radio and television transmitting station					
Electrical generating plant					
Electrical substation	•	SUP	•	SUP	•
Local utilities (Local utilities by right. Communication exchange facility by SUP only.)	★	★	★	★	★
Police or fire station	•	•	•	•	•
Post office	•	SUP	•	SUP	•
Radio, television or microwave tower					
Refuse transfer station					
Sanitary landfill					
Sewage treatment plant					
Tower/antenna for cellular communication					
Utility or government installation other than listed	SUP	SUP	SUP	SUP	SUP
Water treatment plant					
<b>WHOLESALE, DISTRIBUTION AND STORAGE USES</b>					
Auto auction					
Building mover's temporary storage yard					
Contractor's maintenance yard					
Freight terminal					
Livestock auction pens or sheds					
Manufactured building sales lot					
Mini-warehouse		SUP	SUP	SUP	SUP
Office/showroom/warehouse	•				

Land Use Category	SUB-DISTRICT 1	SUB-DISTRICT 2	SUB-DISTRICT 3	SUB-DISTRICT 4	SUB-DISTRICT 5
Outside storage (with visual screening)					
Outside storage (without visual screening)					
Petroleum product storage and wholesale					
Recycling buy-back center					
Recycling collection center					
Recycling drop-off container	★	★	★	★	★
Recycling drop-off for special occasion collection	★	★	★	★	★
Sand, gravel, or earth sales and storage					
Trade center	SUP				
Vehicle storage lot					
Warehouse	●				
Wrecker Service	Prohib.	Prohib.	Prohib.	Prohib.	Prohib.

Land Use Category	SUB-DISTRICT 1	SUB-DISTRICT 2	SUB-DISTRICT 3	SUB-DISTRICT 4	SUB-DISTRICT 5
-------------------	-------------------	-------------------	-------------------	-------------------	-------------------

ACCESSORY USES	SUB-DISTRICT 1	SUB-DISTRICT 2	SUB-DISTRICT 3	SUB-DISTRICT 4	SUB-DISTRICT 5
Accessory community center (private)	•	•	•	•	•
Accessory game court (private)	•	•	•	•	•
Accessory helistop	SUP				
Accessory medical/infectious waste incinerator					
Accessory outside display of merchandise	•	•	•	•	•
Accessory outside sales	•	•	•	•	•
Accessory outside storage	★				★
Accessory pathological waste incinerator					
Amateur communication tower					
Day home	•	•	•	•	•
General waste incinerator					
Home occupation	•	•	•	•	•
Occasional sales (garage sales)	•	•	•	•	•
Private stable					
Swimming pool (private)	•	•	•	•	•
Pedestrian skybridges					

**EXHIBIT 714 E  
DEVELOPMENT STANDARDS**

30491

170958

SUBDISTRICTS:	1	2	3	4	5
<p><u>YARD, LOT, AND SPACE REGULATIONS</u></p> <p><u>Front Yard</u></p> <ul style="list-style-type: none"> <li>• Min. 6 ft. (no less than 50% of the façade front)</li> <li>• Max. – 15 ft.</li> <li>• Additional 20 ft. front yard setback for that portion of a structure above 45 ft. in height.</li> </ul>	<ul style="list-style-type: none"> <li>• Min. 15 ft.</li> <li>• Max. - 60 ft. from Ft. Worth Ave.</li> <li>• Additional 20 - ft. front yard setback for that portion of a structure above 45 ft. in height.</li> </ul>	<ul style="list-style-type: none"> <li>• Min. 5 ft. (for at least 50% of the façade front).</li> <li>• Max. -15 ft.</li> </ul>	<ul style="list-style-type: none"> <li>• Min. 15 ft.</li> <li>• Max 50 ft to Fort Worth.</li> <li>• See 51P-714.111(c) (1) for setbacks in Subdistricts 4B and 4C</li> </ul>	<ul style="list-style-type: none"> <li>• Min. 15 ft.</li> <li>• Max.- 60 ft.</li> </ul>	
<p><u>Side and rear yard</u></p>	<ul style="list-style-type: none"> <li>• No Min. side &amp; rear.</li> <li>• Additional side and rear yard setback of 1 ft. in height above 45 ft. of that portion of a structure above 45 ft. in height. Does not require a total side or rear yard setback greater than 30</li> </ul>	<ul style="list-style-type: none"> <li>• 20 ft. when adjacent to or directly across from R, R(A), D, D(A), TH, TH(A), CH, MF, or MF(A) district or residential use (not a mixed-use project with a residential component).</li> </ul>	<ul style="list-style-type: none"> <li>• 20 ft. same condition applies.</li> <li>• No min. in all other cases.</li> <li>• Additional side yard condition applies.</li> </ul>	<ul style="list-style-type: none"> <li>• 20 ft. same condition applies.</li> <li>• No min. in all other cases.</li> <li>• Additional side yard condition applies.</li> <li>• See 51P-714.111(c) (1) for setbacks in Subdistricts 4B and 4C</li> </ul>	<ul style="list-style-type: none"> <li>• 20 ft. same condition applies.</li> <li>• No min. in all other cases.</li> <li>• Additional side yard condition applies.</li> </ul>



**EXHIBIT 714 E  
DEVELOPMENT STANDARDS**

SUBDISTRICTS:	1	2	3	4	5
YARD, LOT, AND SPACE REGULATIONS	ft.	<ul style="list-style-type: none"> <li>• No min. in all other cases.</li> <li>• Additional side and rear yard setback of 1 ft. in height above 45 feet for that portion of a structure above 45 ft. in height. Does not require a total side or rear yard setback greater than 30 ft.</li> </ul>			
Side and rear yard (continued)					
Dwelling Unit Density	<ul style="list-style-type: none"> <li>• No max. dwelling unit density.</li> <li>• Maximum dwelling unit size is 450 sq. ft.</li> </ul>				

**EXHIBIT 714 E  
DEVELOPMENT STANDARDS**

30491

170958

Floor area ratio (See below.)	Same	Same	Same	Same	Same
<p align="center"><b>FAR</b></p> <p>Maximum FAR varies depending on whether the development is an MUP as follows:</p>					
Use Category	Base (no MUP)	MUP=2 (no res.)	MUP=2 (with res.)	MUP=3 (with res.)	
Lodging	1.6	2.5	3.0	3.5	
Office	1.6	2.5	3.0	3.5	
Residential	1.6	--	3.0	3.5	
Retail and Personal Svc.	1.0	1.1	1.2	1.3	
Total	1.6	2.5	3.0	3.5	
<p><u>Height</u></p> <ul style="list-style-type: none"> <li>Maximum structure height</li> </ul>	Subdistrict 1A is 145 ft.	Subdistrict 2A is 60 ft.	Subdistrict 2B is 80 ft.	60 ft.	60 ft. (RPS criterion applies.)
	Subdistrict 1B is 40 ft.	(RPS criterion applies.)	(RPS criterion applies.)	See 51P-714.111(c) (5) for height in Subdistricts 4B and 4C	
	80%	80%	80% & 4B maximum lot coverage is 90 percent	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%
	80%	80%	80%	80%	80%

**EXHIBIT 714 E  
DEVELOPMENT STANDARDS**

30491

170958

<u>Lot Size.</u>	No minimum lot size.				
<u>Stories above grade.</u> (Levels in parking garage are not counted as stories but may not exceed the maximum height requirements within the respective subdistrict.)	1A is 11. 1B is 3.	2A is 4. 2B is 6.	4	12 4B is 3.	4

**EXHIBIT 714 E  
DEVELOPMENT STANDARDS**

30491

170958

<b>OFF-STREET PARKING AND LOADING</b>	
<u>Residential.</u>	<ul style="list-style-type: none"> <li>• 1 space per bedroom up to a max. of 2 per dwelling unit.</li> <li>• Any parking structure must be constructed of comparable materials and be of the same architectural treatment as the dwelling unit. In Subdistrict 4A, this only applies to a facade facing a public street.</li> <li>• Remote parking is allowed if it is located within 600 ft. of the complex.</li> <li>• Retirement housing in Subdistricts 4A and 4B, 0.7 spaces per dwelling unit or suite.</li> </ul>
<u>Restaurant.</u>	<ul style="list-style-type: none"> <li>• 1 space per 125 sq. ft. of floor area.</li> <li>• Any area used for outside dining, whether or not covered, counts as floor area for calculation of the parking requirements. In 4A and 4B, 50 percent of an outdoor dining area, whether or not covered, is excluded for calculation of the parking requirement as long as the outdoor dining area is within 20 feet of, and has direct access to, a street, sidewalk, or publically accessible open space. This only applies to an area up to 20 percent of the size of the indoor floor area.</li> </ul>
<u>Retail and personal service</u>	<ul style="list-style-type: none"> <li>• In 4A and 4B, retail and personal service uses, one space per 250 square feet of floor area except for business school, commercial amusement (inside), furniture store, nursery, garden shop, or plant sales, and theater uses, which must provide parking in accordance with the use regulations in Division 51A-4.200. In 4A and 4B, floor area of a sales/leasing office and amenities for residential uses as a part of a mixed use project do not count towards parking, the non-residential portion of a live/work unit is a retail and personal use for parking.</li> </ul>
<u>Above-grade off-street parking.</u>	<ul style="list-style-type: none"> <li>• Parking is permitted on any level of a building.</li> </ul>

**EXHIBIT 714 E  
DEVELOPMENT STANDARDS**

30491

170958

<p><u>Bicycle parking.</u></p>	<ul style="list-style-type: none"> <li>• If an institutional and community service use, mixed-use project (MUP), or retail and personal service use has a floor area of 4,000 sq. ft. or more, it must provide a lockable rack for a minimum of 2 bicycles.</li> </ul>
<p><u>Mixed-use shared parking reduction.</u></p>	<ul style="list-style-type: none"> <li>• Office and residential uses within a MUP must share parking and be on the same building site. Number of required off-street parking spaces for a MUP is 100 % of the parking requirement for the use requiring the greater number of spaces plus 25% of the parking requirements for the use requiring fewer spaces. • <i>Example: [(100X1.0) + (80X.25) = 120]</i></li> <li>• <i>Retail and residential</i> within a MUP must share parking and be on the same building site. Number of required off-street parking spaces for a MUP is 100% of the parking requirement for the use requiring the greater number of spaces plus 75% of the parking requirements for the use requiring fewer spaces. • <i>Example: [(100X1.0) + (80X.75)=160]</i></li> <li>• MUP with office, retail and residential must use the parking reduction that offers the greatest reduction, but may not use both.</li> </ul>
<p><u>On-street parallel parking reduction.</u></p>	<ul style="list-style-type: none"> <li>• Except as provided in this subsection, any on-street parallel parking spaces on W. Commerce St. and Ft Worth Ave. or a street that intersects Ft. Worth Ave. may be counted toward the parking requirement of the use adjacent to the on-street parallel parking space.</li> <li>• In Subdistrict 4A, any on-street parallel, straight, or angled head-in parking space may be counted toward the total off-street parking requirement of the use adjacent to the on-street parallel, straight, or angled head-in parking space.</li> <li>• In Subdistrict 4B, on-street parallel, straight, or angled head-in parking may be counted towards the total off-street parking requirement.</li> <li>• On-street parallel parking space may not be used to reduce required parking for more than one use, except that an on-street parking space may be used to reduce the</li> </ul>

**EXHIBIT 714 E  
DEVELOPMENT STANDARDS**

30491

170958

	<p>combined total parking requirement of a MUP.</p> <ul style="list-style-type: none"> <li>• On-street parking space not available to the public at all times of the day may only be counted as a partial parking space in proportion to the amount of time that it is available.</li> <li>• In Subdistrict 4B, parallel, straight, or angled head-in parking accessed from the alley between Subdistrict 4B and Colorado Boulevard is allowed and screening from the alley is not required.</li> </ul>
<p><u>Parking in the rear and side of main structure.</u></p>	<ul style="list-style-type: none"> <li>• Subdistrict 1, 100% of any parking for new construction located on the same building site as the main use must be to the rear yard of the main structure.</li> <li>• Subdistricts 2, 3, 4 and 5, 25% of any required parking for new construction located on the same building site as the main use, or one row of parking, whichever are fewer spaces, may be located in front of the main structure. Only 1 driving aisle may be located in the front yard of the main structure. In Subdistrict 4B, one row of parking is allowed in front of the main structure with no limit on the percentage of total parking.</li> </ul>
<p><u>Additional Provisions</u></p> <p><u>Additional Provisions</u> <u>(continued)</u></p>	<ul style="list-style-type: none"> <li>• If an above-ground parking structure is located within 200 feet of an adjacent residential district not dedicated to public use, the parking must be concealed in a structure with a facade that is similar in appearance to the main structure facade. At least 12 percent of the parking structure facade, including openings, must be covered with the same material predominantly used on the first 24 feet in height of the main structure. Openings in the aboveground parking structure may not exceed 52 percent of the total facade area.</li> <li>• In Subdistrict 4A except for residential uses all of the subdistrict is considered as one lot for parking.</li> <li>• Except as provided in this subparagraph, above-ground parking structures are prohibited within 100 feet of a residential district not dedicated to public use. If an above-ground parking structure in this subdistrict is located within 100 feet or less of the boundary line of the adjacent residential subdistrict, then the above-ground parking structure must be</li> </ul>

**EXHIBIT 714 E  
DEVELOPMENT STANDARDS**

30491

170958

	<p>aligned with the existing above-ground parking structure that is in the adjacent residential subdistrict, as shown on Exhibit H. If the existing above-ground parking structure that is in the adjacent residential subdistrict is demolished or is not used for parking, then the above-ground parking structure in this subdistrict must be located more than 100 feet from the boundary line of the adjacent residential subdistrict.</p> <ul style="list-style-type: none"> <li>• In 4A and 4B, a non-residential use with a floor area greater than 10,000 square feet but less than 20,000 square feet, per occupancy must have one small loading space. Required loading may be located with a public right of way.</li> <li>• In 4A, all required parking for a retirement housing use must be located on the same building site as the retirement housing use.</li> <li>• In 4A, at least one parking space for each residential unit must be located on the same building site as the residential unit. Any additional required parking spaces must be located on a building site in Subdistrict 4A and within 200 feet of the building site that contains the residential use.</li> </ul>
<p><u>Street trees. (See Exhibit F.)</u></p>	<ul style="list-style-type: none"> <li>• <b>LANDSCAPING</b></li> <li>• 1 street tree per 30 ft. of street frontage, min. 2 per building site.</li> <li>• To the extent possible, street tree(s) must be spaced 30 ft. apart, but, where necessary, trees may be spaced a min. of 20 ft. apart.</li> <li>• Must have a min. caliper of 3" and must have a min. height of 8 ft. when planted.</li> <li>• Subdistrict 1 - street tree must be placed in a 16 ft. square tree grate.</li> </ul>

**EXHIBIT 714 E  
DEVELOPMENT STANDARDS**

- Subdistrict 2 – street tree must be placed in a 4 ft. wide planting strip with a min. length of 6ft.
- In Subdistrict 3 – street tree must be placed in a 16 ft. square tree grate.
- In Subdistrict 4, street tree must be placed in a 4 ft. wide planting strip with a min. length of 6ft.
- In 4A and 4B street trees must be placed in a minimum 15 square foot tree grate if placed within a sidewalk or other non-permeable area. In Subdistricts 4A and 4B, street trees not planted within a sidewalk or other non-permeable area must be placed in a minimum 15 square foot planting strip. In Subdistricts 4A and 4B, street trees may be placed anywhere within the public right-of-way. In Subdistricts 4A and 4B, credit will be given for the preservation of existing street trees in accordance with Section 51A-10.125(b)(3)(B). In Subdistricts 4A and 4B, site trees and street trees planted in the right-of-way count as replacement trees required for the mitigation of protected trees.
- In Subdistrict 5 (along Ft. Worth Avenue), street tree must be placed in a 16 ft. square tree grate, and street trees along all other streets must be placed in a 4 ft. wide planting strip with a min. length of 6 ft.
- Street trees at the following frontages must be placed in a 16 ft. square tree grate:
  - The Ft. Worth Avenue frontage of Block B/3926 between Neal Street at Montclair Avenue.
  - The Ft. Worth Avenue frontage of Block 6157 and Block 6156.
  - The Ft. Worth Avenue frontage of Block 3977 between Windomere Avenue and Edgefield Avenue.
  - The Ft. Worth Avenue frontage and the Sylvan Avenue frontage of Block 4015.



**EXHIBIT 714 E  
DEVELOPMENT STANDARDS**

30491

170958

	<ul style="list-style-type: none"> <li>• Any location where the provision of parallel parking would require a retaining wall in excess of 4 ft.</li> <li>• Trees must be evenly spaced over the length of a planning strip.</li> <li>• Street trees may not be counted as site trees. In 4A, street trees may be counted as site trees, in 4B street trees other than those directly adjacent to Ft. Worth Ave may be counted as site trees.</li> <li>• Street trees must be selected from Texas native or adapted species list.</li> </ul>
<p><u>Site trees.</u></p>	<ul style="list-style-type: none"> <li>• 1 site tree per 3,000 sq. ft. of lot area or fraction thereof, min. of 4 trees.</li> <li>• Site trees must have a minimum caliper of 2".</li> <li>• Site trees may not be counted as street trees.</li> <li>• Site trees must be provided from the list of Texas native or adapted species.</li> </ul>
<p><u>Parking lot trees.</u></p>	<ul style="list-style-type: none"> <li>• Each required parking space must be within 75 ft. of the trunk of a large canopy site tree. In Subdistricts 4A and 4B, each required parking space not within a parking structure must be within 75 feet of either a site tree or street tree.</li> <li>• Parking lot trees must have a minimum caliper of 3".</li> <li>• Parking lot trees may not be planted closer than 2 ft. from the paved surface.</li> <li>• Parking lot trees may be counted as site trees, but not as street trees.</li> </ul>

**EXHIBIT 714 E  
DEVELOPMENT STANDARDS**

30491

170958

<p><u>Prohibited trees.</u></p>	<ul style="list-style-type: none"> <li>• Bradford pear, cottonwood and mimosa.</li> </ul>
<p><u>Open space fund.</u></p>	<ul style="list-style-type: none"> <li>• If a property owner cannot plant all of the required trees on the building site, property owner shall make a payment into the West Commerce Street/Ft. Worth Avenue Open Space Fund for no more than 50% of the required trees.</li> </ul>
<p><u>Landscape plan.</u> Landscape plan must earn at least 75 points (out of total of 125 points).</p>	<ul style="list-style-type: none"> <li>• Lighting. (30 points)</li> <li>• Foundation planting strip. (30 points)</li> <li>• Seasonal color landscaping. (15 points)</li> <li>• Native plant or xeriscape landscaping. (30 points)</li> <li>• Creation of open space. (20 points)</li> </ul>
<p><u>Street standards.</u> (streets other than W. Commerce St. and Ft. Worth Ave. with 50 ft. or more of ROW) <u>Parallel Parking.</u> (See <u>Exhibit F.</u>)</p>	<ul style="list-style-type: none"> <li>• Except as provided in this section, streets must be constructed as shown in Exhibit F, "Street Diagrams."</li> <li>• The following frontages are exempt from parallel parking requirements: <ul style="list-style-type: none"> <li>■ The Ft. Worth Avenue frontage of Block B/3926 between Neal Street at Montclair Avenue.</li> <li>■ The Ft. Worth Avenue frontage of Block 6157 and Block 6156.</li> <li>■ The Ft. Worth Avenue frontage of Block 3977 between Windmere Avenue and Edgefield Avenue.</li> <li>■ The Ft. Worth Avenue frontage and the Sylvan Avenue frontage of Block</li> </ul> </li> </ul>

**EXHIBIT 714 E  
DEVELOPMENT STANDARDS**

30491

170958

	<p>4015.</p> <ul style="list-style-type: none"> <li>■ Any location where the provision of parallel parking would require a retaining wall in excess of 4 ft.</li> <li>■ Street frontages in Subdistricts 4A and 4B.</li> <li>● Parallel parking aisle must begin 20 ft. back from any intersection.</li> </ul>
<p><u>Sidewalk standards.</u> (See Exhibit F.)</p>	<ul style="list-style-type: none"> <li>● Subdistrict 1 – 15 ft. along W. Commerce St. and Ft. Worth Ave.; 11 ½ ft. along any other street.</li> <li>● Subdistrict 2 – 6 ft. sidewalk.</li> <li>● Subdistrict 3 – 12 ft. sidewalk along Ft. Worth Ave., 11 ½ ft. along any other street.</li> <li>● Subdistrict 4 – 6 ft. sidewalk.</li> <li>● In Subdistricts 4A and 4B, the minimum width of sidewalks along Fort Worth Avenue is 10 feet. At least five feet of the sidewalks along Fort Worth Avenue must be made of concrete; the remainder may be an aggregate or permeable surface. All other sidewalks along a right-of-way must be at least six-foot-wide with at least three feet of the sidewalk unobstructed and clear. ADA-approved tree grates are not a sidewalk obstruction. If a sidewalk is located in the front yard, the property owner must dedicate a sidewalk easement or access agreement to the city to assure its availability to the public as a permanent pedestrian way.</li> <li>● Subdistrict 5 – 10 ft. sidewalk.</li> </ul>

**EXHIBIT 714 E  
DEVELOPMENT STANDARDS**

30491

170958

	<ul style="list-style-type: none"> <li>• The street curb may not be counted as part of the sidewalk width.</li> <li>• The following frontages must provide the sidewalks shown in Exhibit F.             <ul style="list-style-type: none"> <li>▪ The Ft. Worth Avenue frontage of Block B/3926 between Neal Street at Montclair Avenue.</li> <li>▪ The Ft. Worth Avenue frontage of Block 6157 and Block 6156.</li> <li>▪ The Ft. Worth Avenue frontage of Block 3977 between Windmere Avenue and Edgefield Avenue.</li> <li>▪ The Ft. Worth Avenue frontage and the Sylvan Avenue frontage of Block 4015.</li> <li>▪ Any location where the provision of parallel parking would require a retaining wall in excess of 4 ft.</li> </ul> </li> <li>• Sidewalk widths must taper or expand to match the width of existing sidewalks in front of adjacent properties at the point of convergence.</li> <li>• Sidewalks must be located along the entire length of the street frontage.</li> </ul>
<p><u>Parking lots.</u></p> <p><u>Loading spaces.</u></p> <p><u>Dumpsters and garbage storage areas.</u></p>	<ul style="list-style-type: none"> <li>• <b>SCREENING</b></li> <li>• Parking lots must be screened with a low screen.</li> <li>• Off – street loading spaces must be screened with a fully sight-obscuring fence or a high screen. In Subdistricts 4A and 4B, only off-street loading spaces visible from Fort Worth Avenue must be screened</li> <li>• All dumpsters and garbage storage areas must be screened on all 4 sides with a fully sight-obscuring fence; one side can be a gate.</li> </ul>

**EXHIBIT 714 E  
DEVELOPMENT STANDARDS**

30491

170958

<p><u>Outside storage areas.</u></p> <ul style="list-style-type: none"> <li>• Screening materials must match the main building.</li> <li>• Screening materials must be at least as tall as the objects being screened, but not less than 6 ft. in height.</li> <li>• Each panel of the dumpster gate must have a pin that can be inserted in a sleeved hole in the ground to hold the gate during garbage collection.</li> <li>• Except for vehicle display, sales, and service uses and nursery, garden shop, and plant sales uses, all outside storage areas for commercial and business services uses and industrial uses must be entirely screened on any side visible from a street with a fully sight-obscuring fence or a high screen.</li> <li>• The rear or service side of a nonresidential building must be screened with a partially sight-obscuring fence if the nonresidential building is exposed to a residential use.</li> </ul>	<p align="center"><b>• ARCHITECTURAL DESIGN STANDARDS</b></p> <p><u>Building orientation.</u></p> <ul style="list-style-type: none"> <li>• Primary façade and primary entrance of buildings must be oriented to face the public ROW. In Subdistrict 4B, the primary façade and primary entrance of new construction must be oriented to face Fort Worth Avenue.</li> </ul> <p><u>Entrances.</u></p> <ul style="list-style-type: none"> <li>• Garage doors serving individual dwellings, fewer than 9, may not face W. Commerce St. or Ft. Worth Ave.</li> </ul> <p><u>Facades.</u></p> <ul style="list-style-type: none"> <li>• All street-facing entrances must be architecturally prominent and clearly visible from the street.</li> <li>• Street-facing facades on a single development tract must have similar architectural design.</li> </ul>
---	--

**EXHIBIT 714 E  
DEVELOPMENT STANDARDS**

- Street-facing facades of all buildings other than accessory buildings must be visually divided into a base, middle, and a top.
- Accessory structures must have the same architectural detail, design, elements, materials, and roof design as the primary structure.
- Any parking structure for a residential use must be constructed of comparable materials and be of the same architectural treatment as the dwelling units.
- Additions and alterations must have the same architectural detail, design elements, materials, and roof design as the primary structure.
- That portion of the ground-level floor facing the street of any multi-floor parking facility must have a use other than parking.
- At least 20%, but no more than 80%, of street-facing facades of non-residential uses must be windows and doors.
- If a building is 2 stories or less, 30% of the street-facing façade, excluding fenestration, must be masonry. If the building is more than 2 stories, 100% of the first-story street-facing façade, excluding fenestration, must be masonry.
- Facades may not consist of more than 80% glass.
- To prevent visual monotony, 20% of the length of any fences and walls longer than 200 ft. must be alternate materials, alternate textures, gates, offsets, or openings.
- Exterior building materials should be high quality and durable. (Refer to ordinance of list of allowed and prohibited materials).

Fences and walls.

Materials.

Story Dimensions.

30491

170958

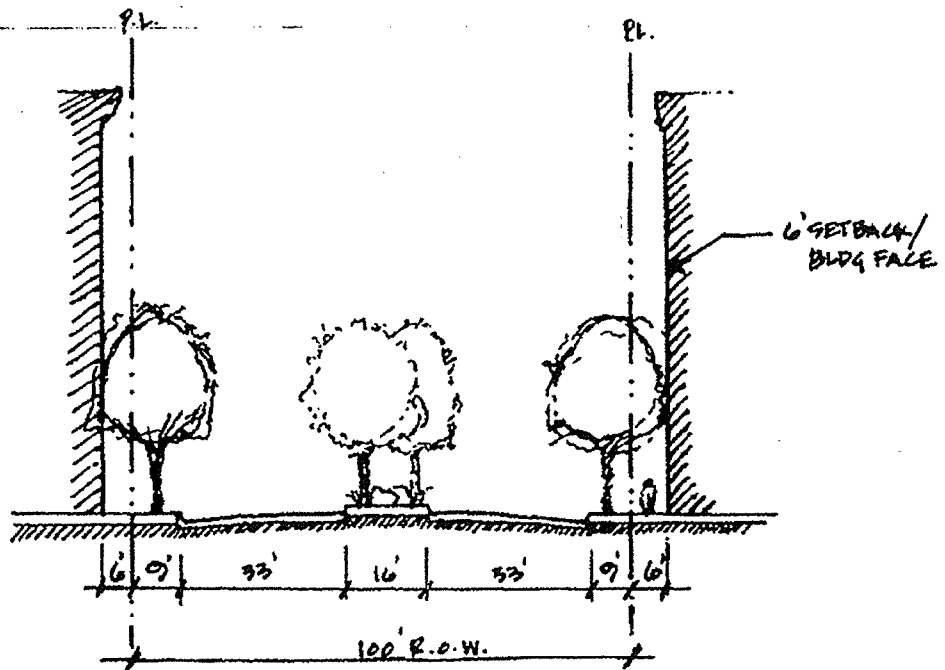
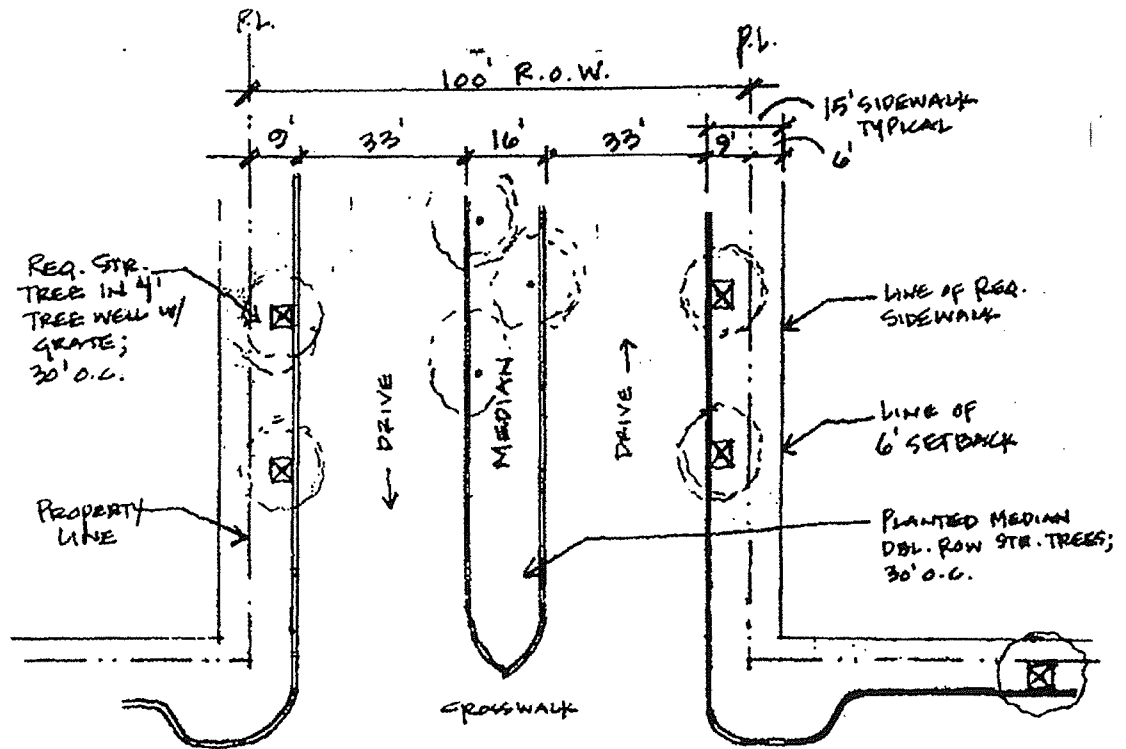
**EXHIBIT 714 E  
DEVELOPMENT STANDARDS**

<p><u>Windows.</u></p>	<ul style="list-style-type: none"><li>• A minimum 10 ft. floor-to-floor dimension is required for the ground floor of single-story and multi-story residential structures. Except in Subdistricts 4A and 4B, foundation must be 2 ft. above grade.</li><li>• In 4A, a minimum 10 foot floor to floor dimension is required for the ground floor of multi-story nonresidential structures and the nonresidential portions of multi-story mixed use projects. In 4B, a minimum one foot floor to floor dimension is required for the ground floor of multi-story nonresidential structures and the nonresidential portions of multi-story mixed use projects. In 4A and 4B, a minimum eight foot floor to floor dimension as required for any residential portion of a structure.</li><li>• A minimum 12 ft. floor-to-floor dimension is required for the ground floor of single-story nonresidential structures and single-story MUPs.</li><li>• A minimum 14 ft. floor-to-floor dimension is required for the ground floor of multi-story nonresidential structures and multi-story MUPs.</li><li>• Retail and personal service uses must provide windows or display cases in ground-level street-facing windows along sidewalks.</li></ul>
------------------------	---

30491

170958

EXHIBIT 714F - STREET DIAGRAM

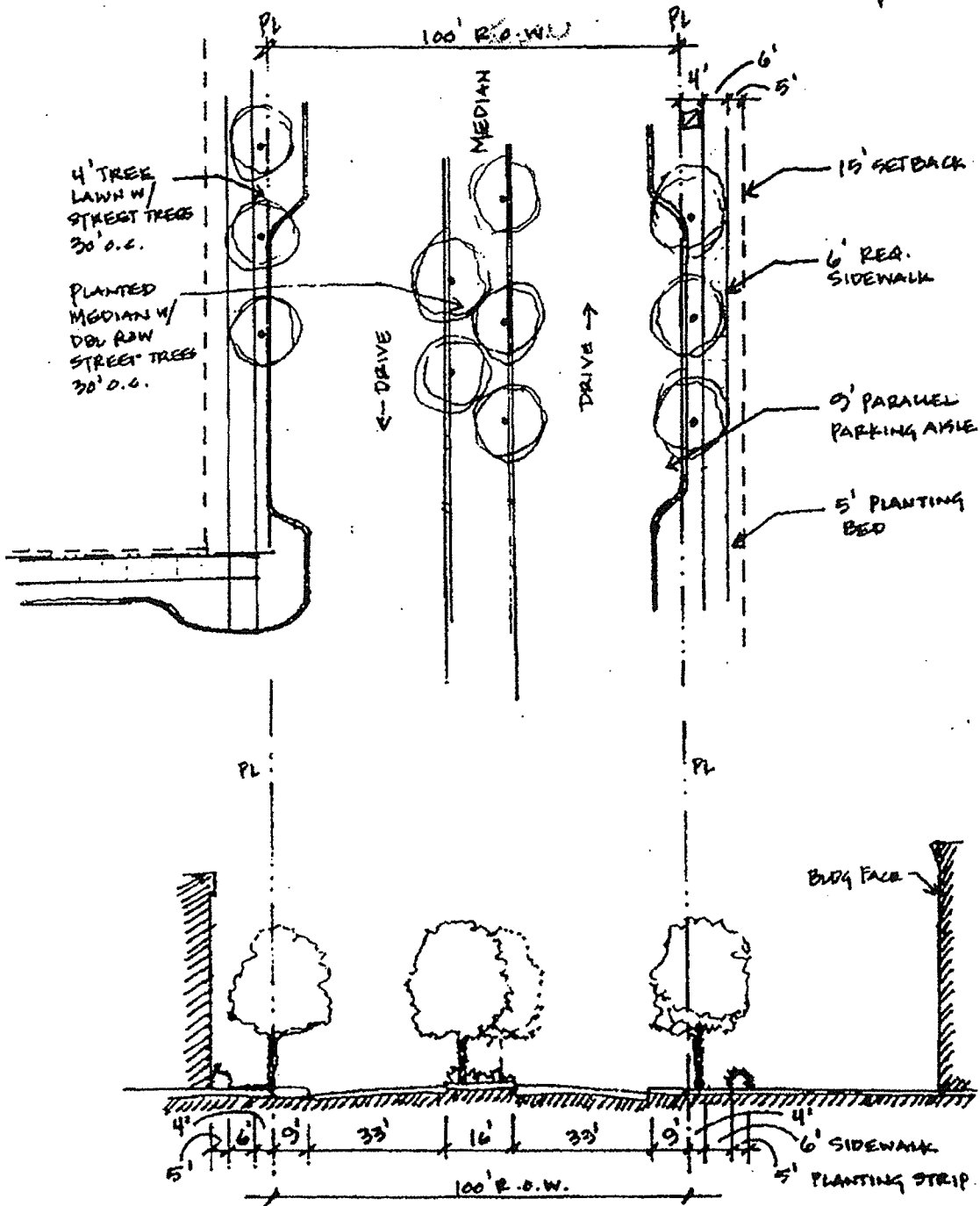


100' R.O.W @ SUBDISTRICT 1

EXHIBIT 714F

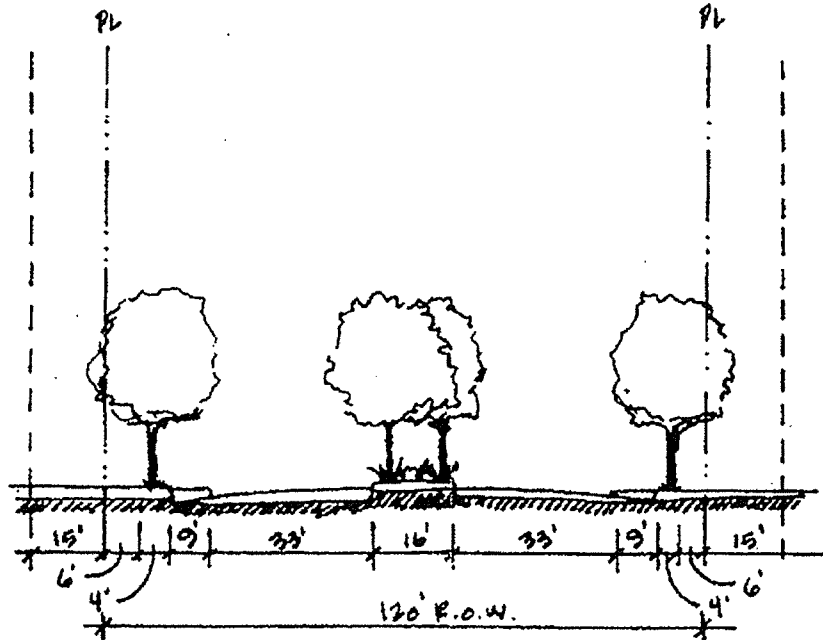
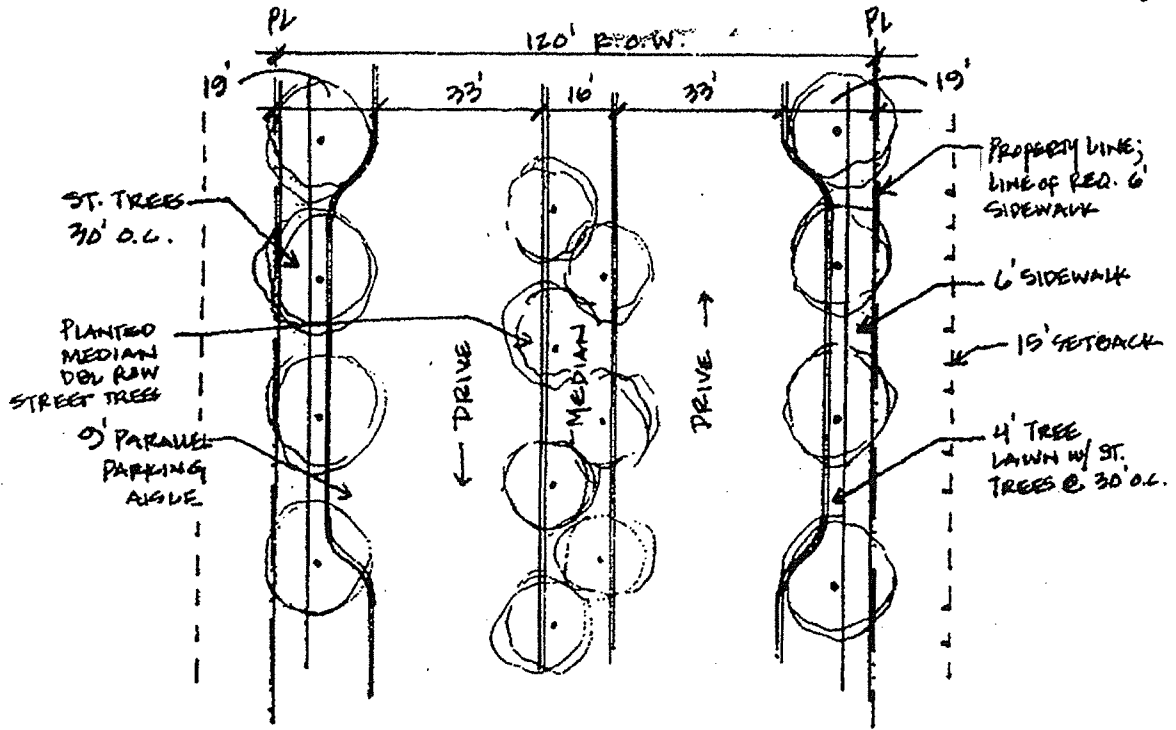


EXHIBIT 714F - STREET DIAGRAM



100' R.O.W @ SUBDISTRICT 2

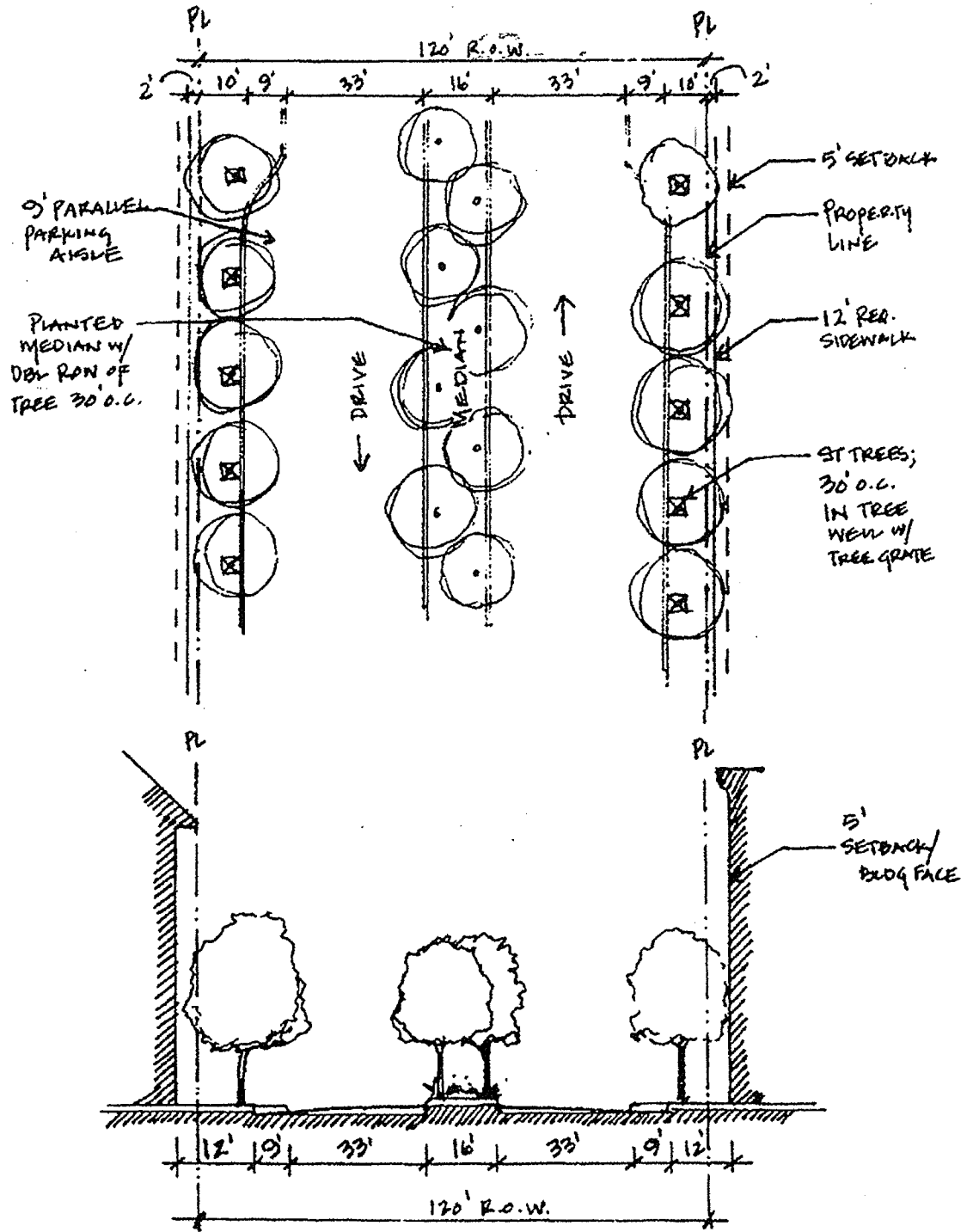
EXHIBIT 714F - STREET DIAGRAM



120' R.O.W. @ SUBDISTRICTS 2 & 4

EXHIBIT 714F

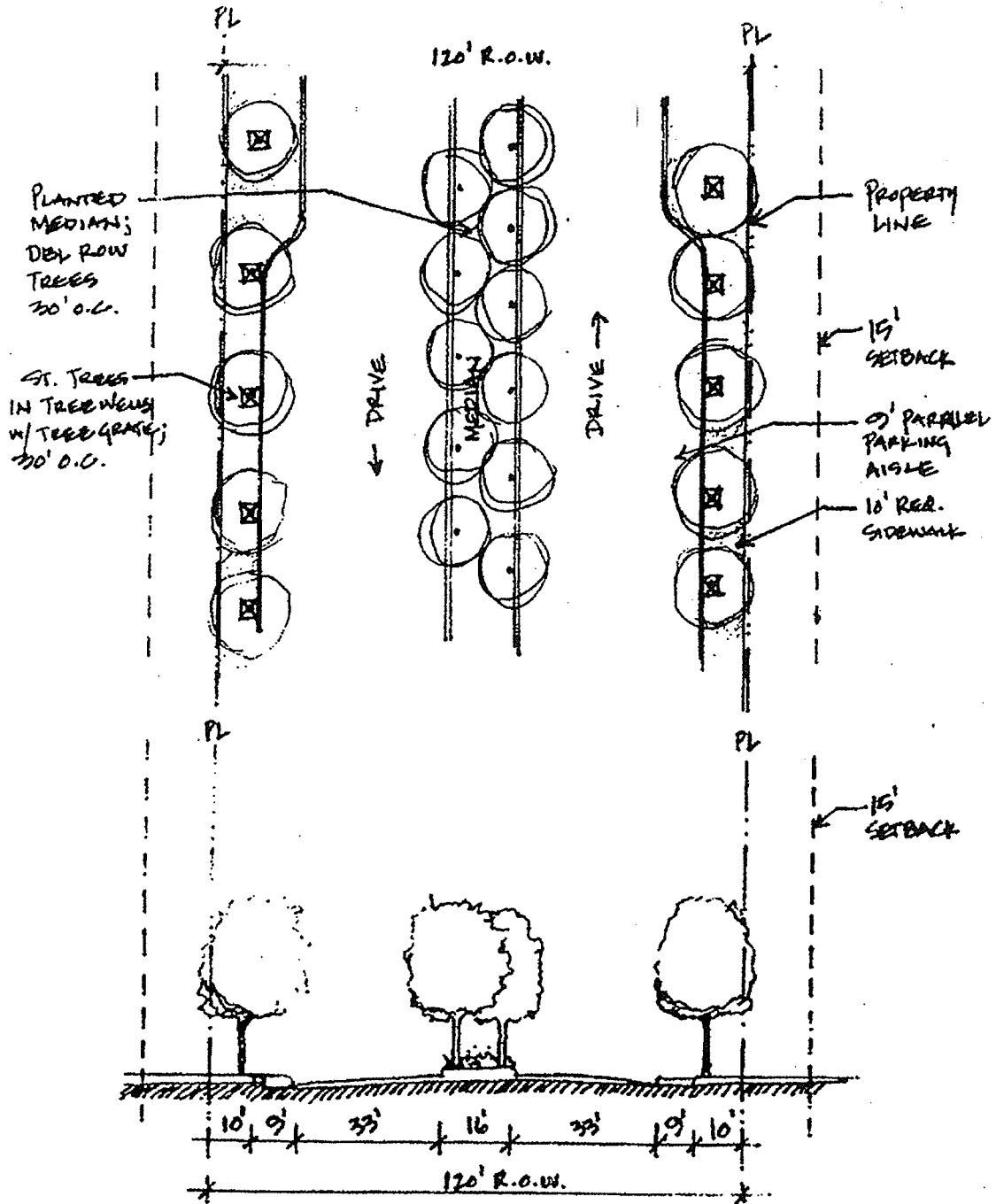
EXHIBIT 714F - STREET DIAGRAM



120' R.O.W. @ SUBDISTRICT 3

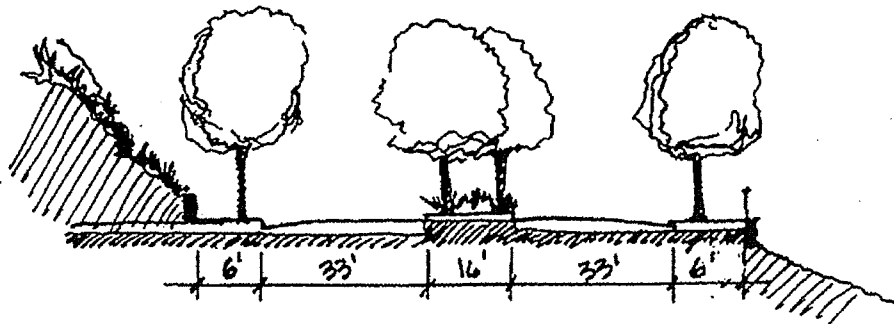
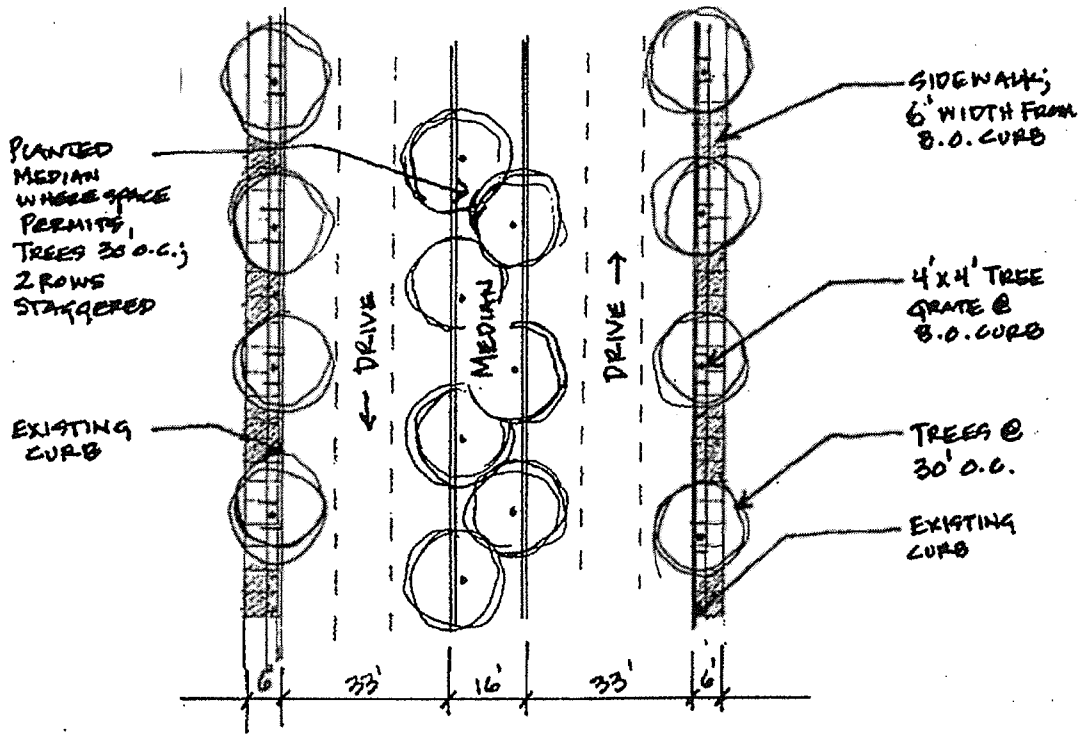
EXHIBIT 714F

EXHIBIT 714F - STREET DIAGRAM



120' R.O.W. @ SUBDISTRICT 5

EXHIBIT 714F - STREET DIAGRAM



ALTERNATE ST. CONFIG. FOR NAMED ADDRESSES

EXHIBIT 714F

EXHIBIT 714F - STREET DIAGRAM

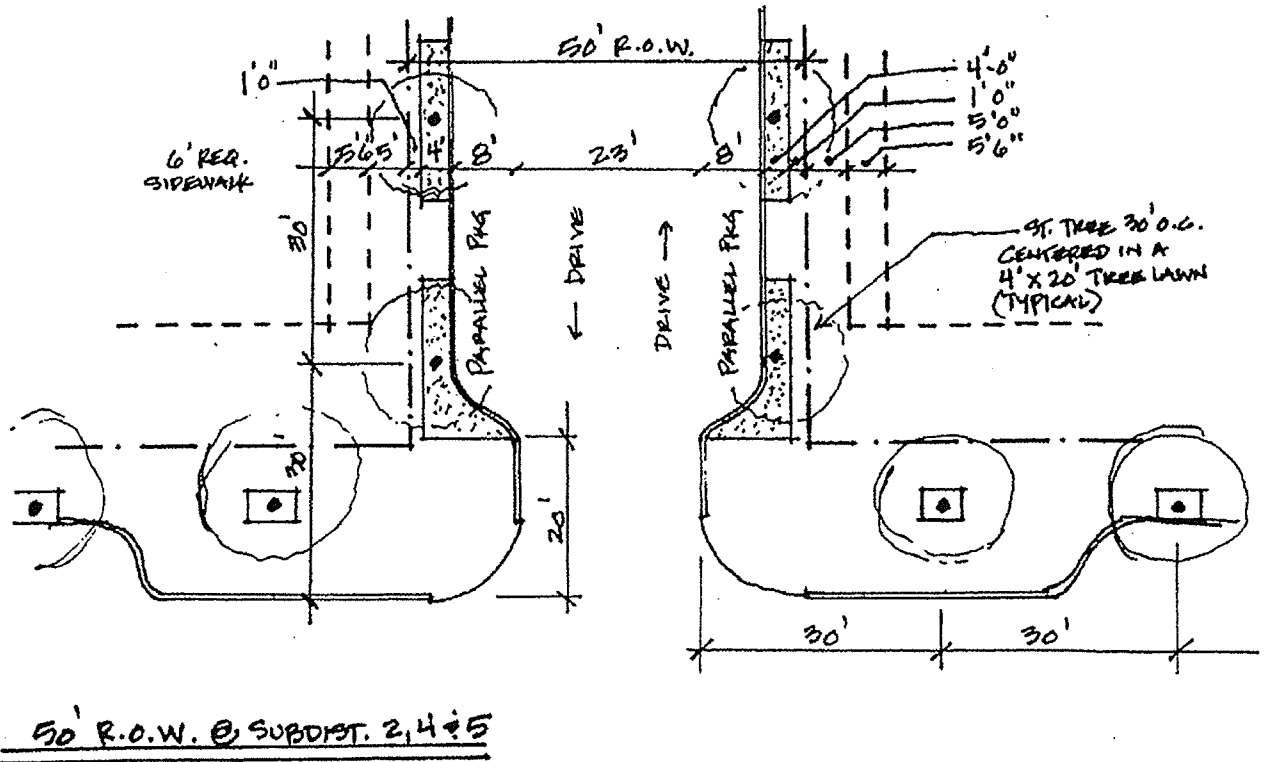
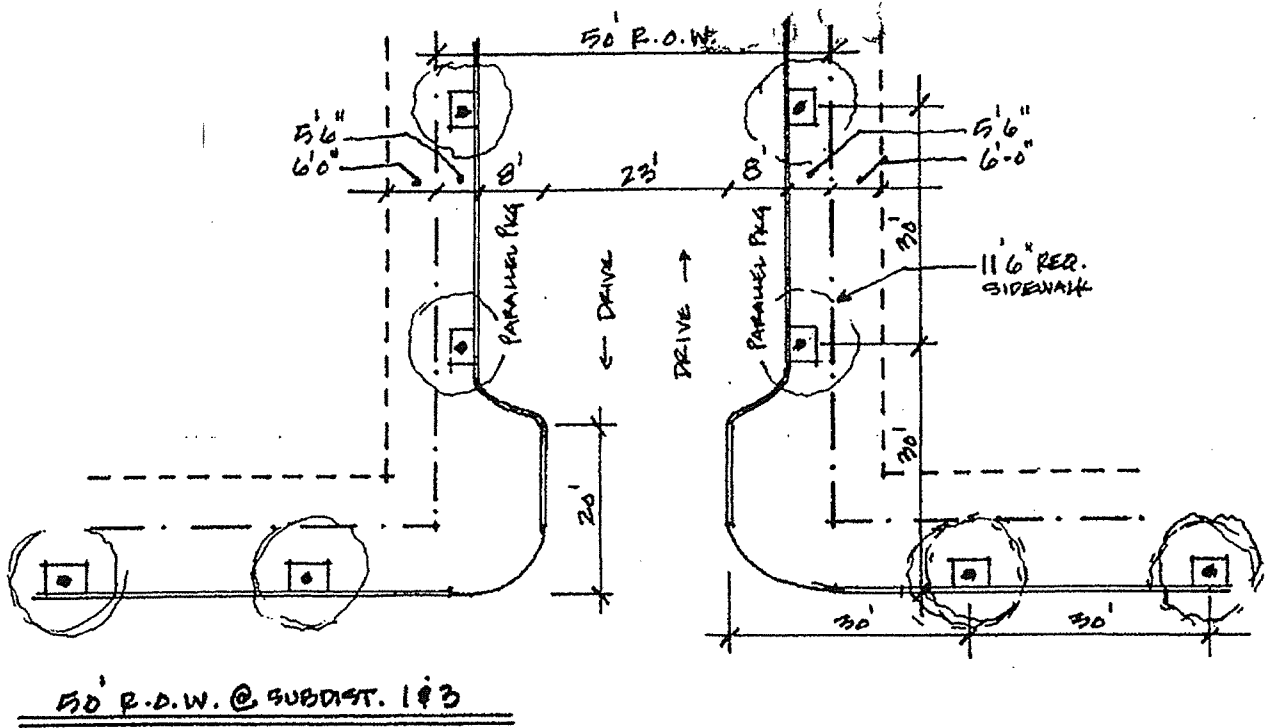
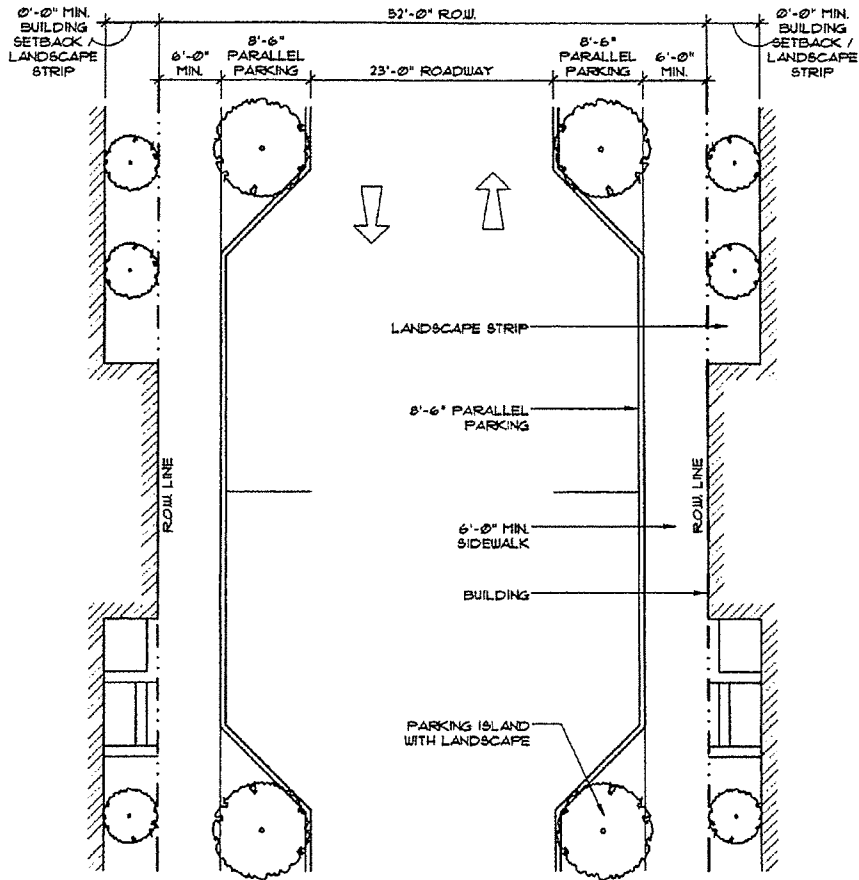
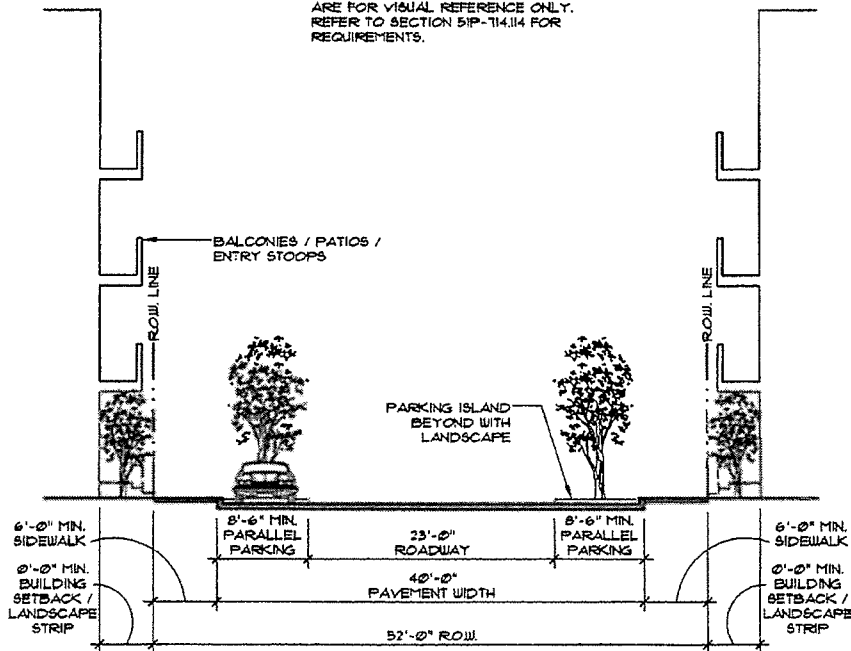


EXHIBIT 714F

# EXHIBIT 114F - SUBDISTRICT 4A 30491 170958

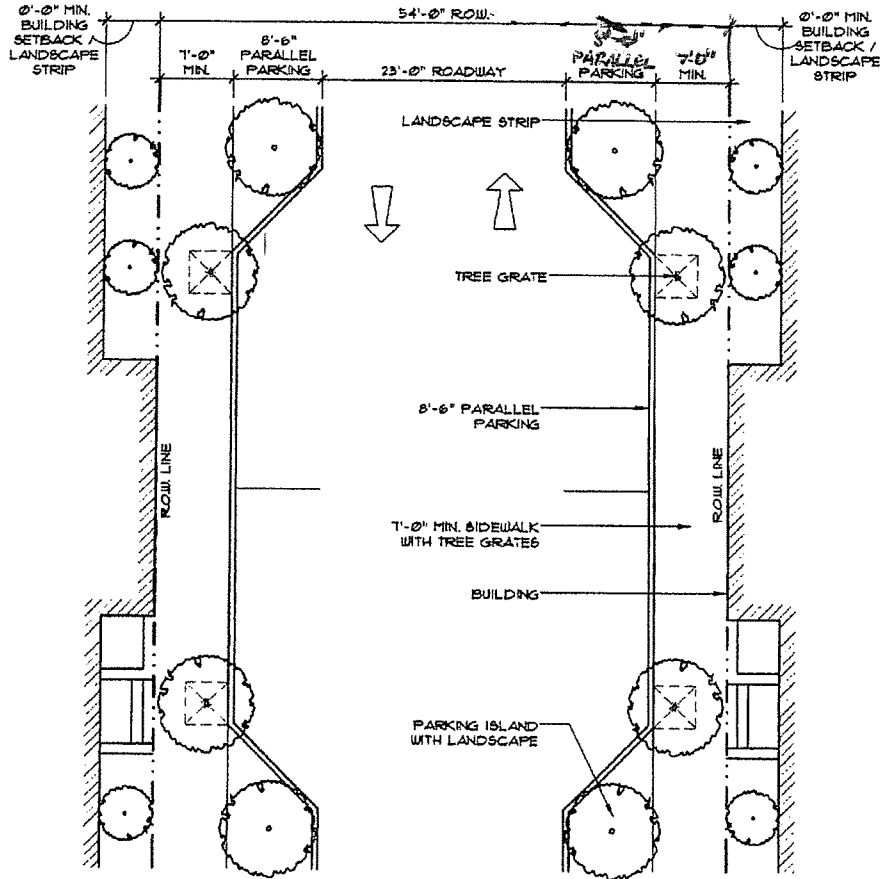


NOTE:  
TREES & TREE GRATES LOCATIONS  
ARE FOR VISUAL REFERENCE ONLY.  
REFER TO SECTION 51P-114.114 FOR  
REQUIREMENTS.

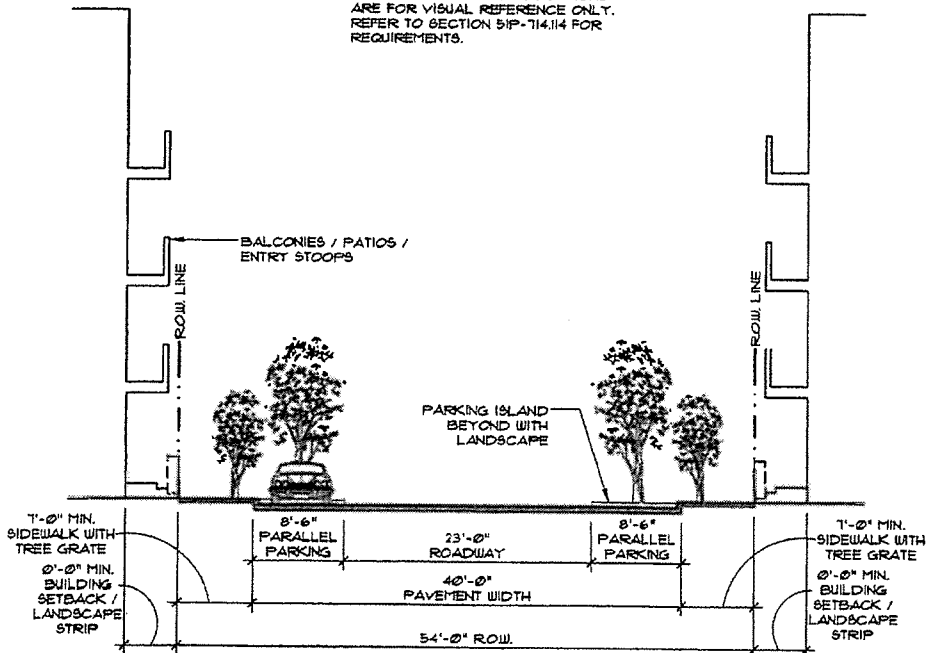


## STREET SECTION 3

SCALE: 1/16" = 1'-0"



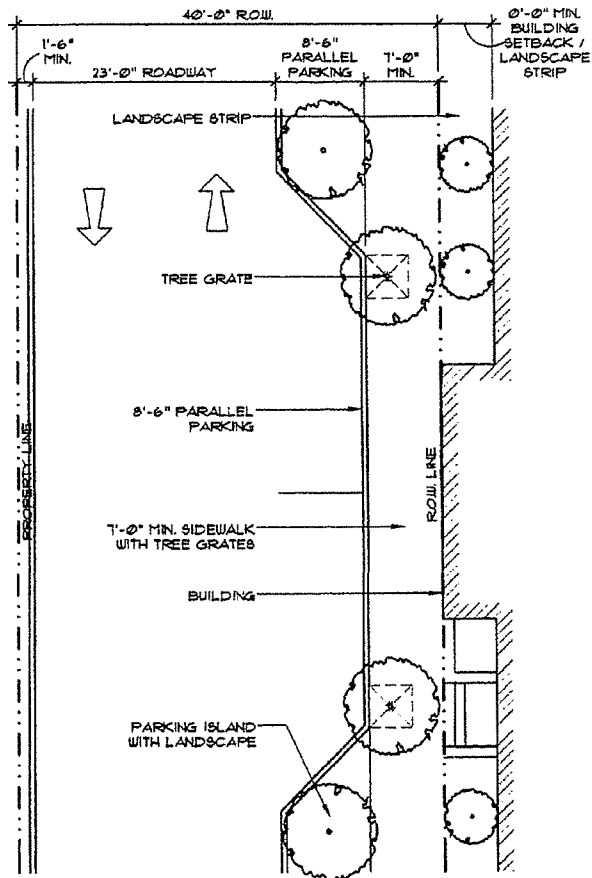
NOTE:  
TREES & TREE GRATES LOCATIONS ARE FOR VISUAL REFERENCE ONLY. REFER TO SECTION 51P-714.14 FOR REQUIREMENTS.



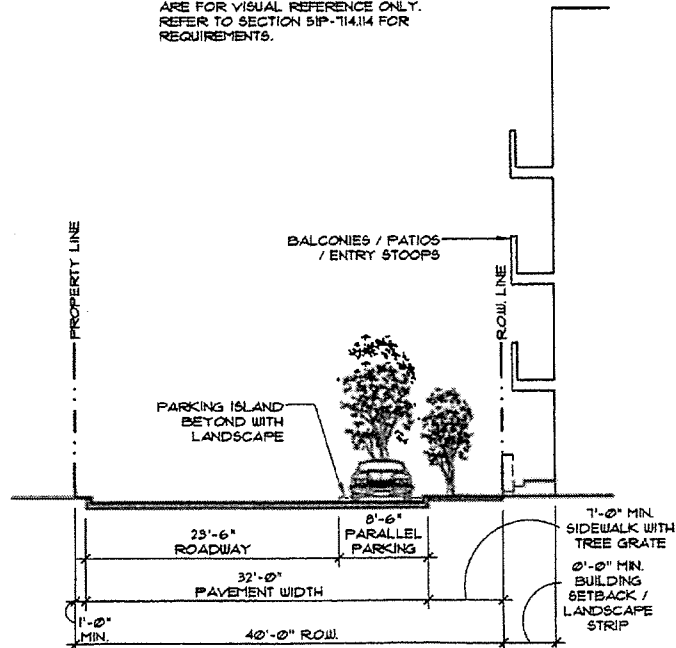
**STREET SECTION 4**

SCALE: 1/16" = 1'-0"



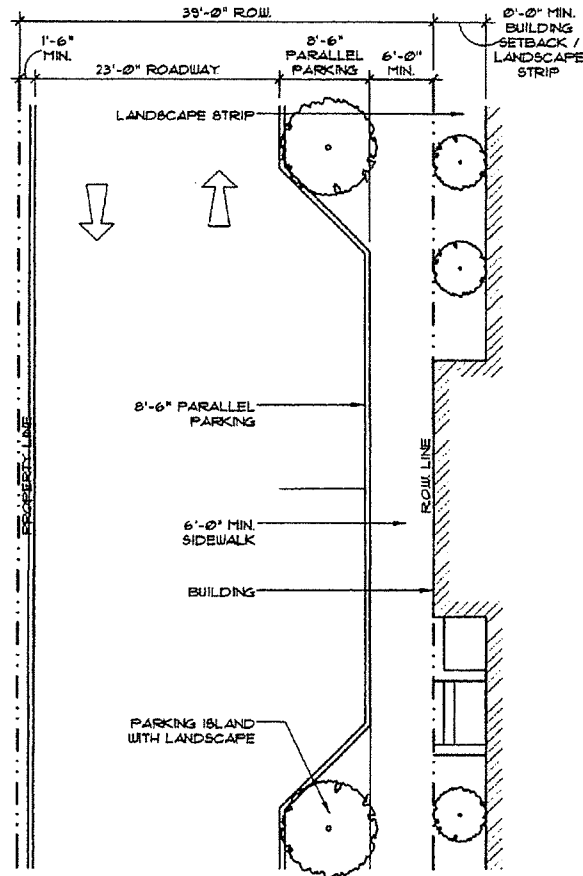


NOTE:  
TREES & TREE GRATES LOCATIONS ARE FOR VISUAL REFERENCE ONLY. REFER TO SECTION 51P-T14.14 FOR REQUIREMENTS.

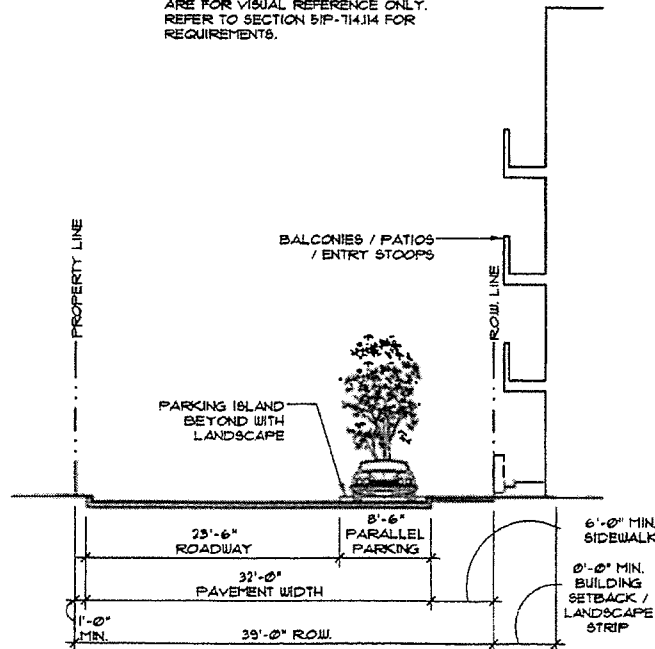


**STREET SECTION 5**

SCALE: 1/16" = 1'-0"

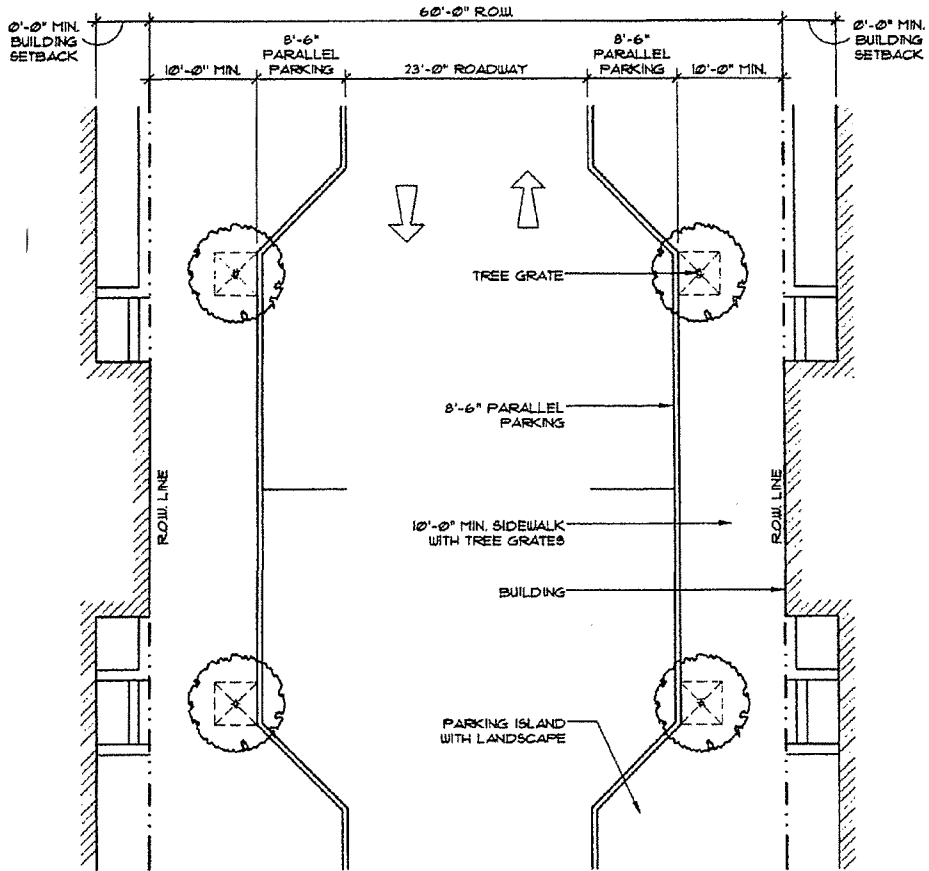


NOTE:  
TREES & TREE GRATES LOCATIONS  
ARE FOR VISUAL REFERENCE ONLY.  
REFER TO SECTION 51P-714.14 FOR  
REQUIREMENTS.

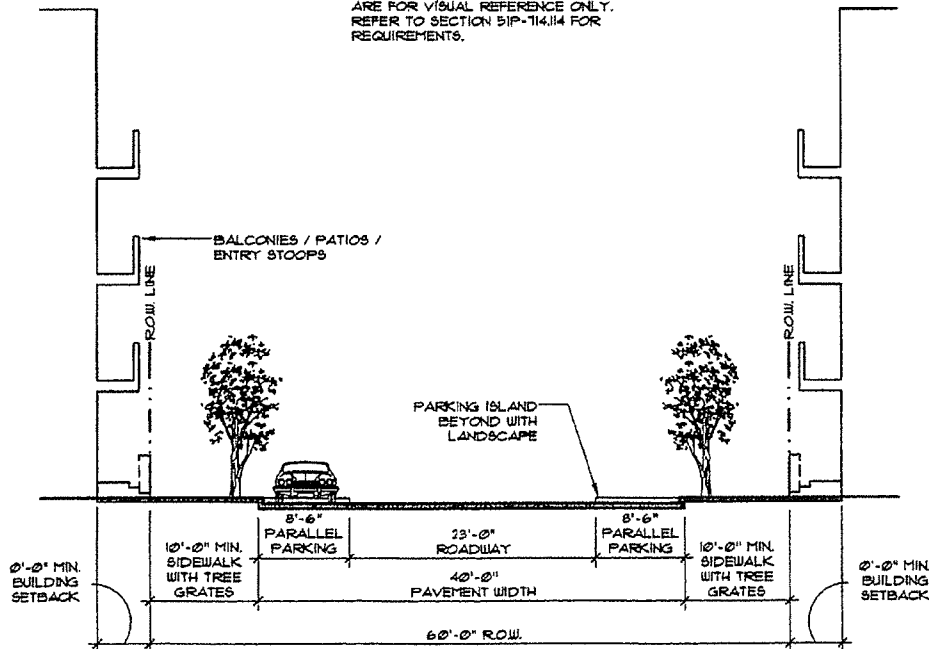


**STREET SECTION 6**

SCALE: 1/16" = 1'-0"

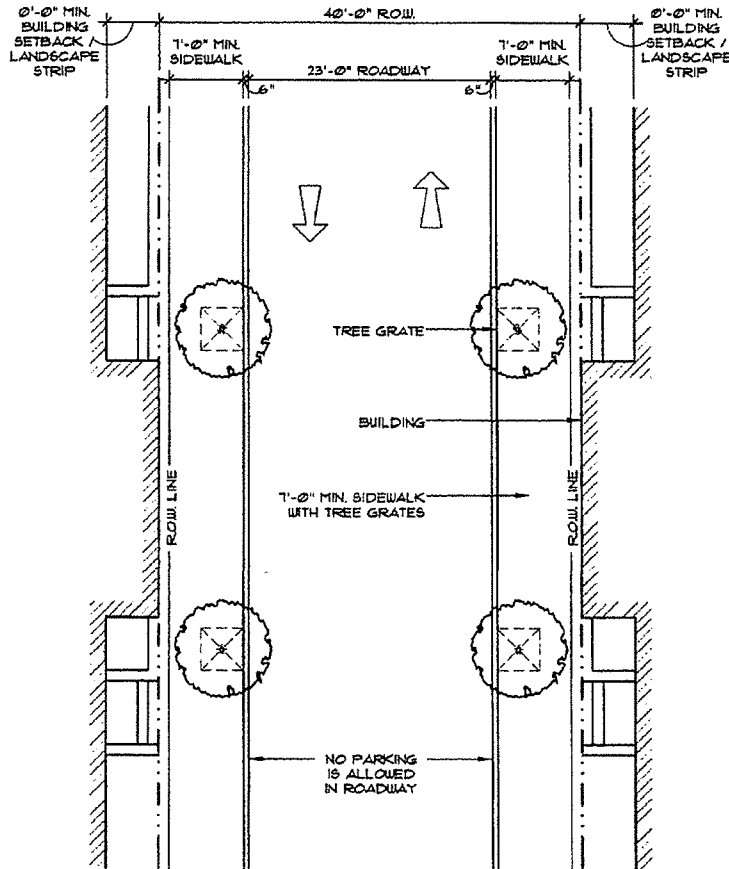


NOTE:  
TREES & TREE GRATES LOCATIONS  
ARE FOR VISUAL REFERENCE ONLY.  
REFER TO SECTION 51P-114.114 FOR  
REQUIREMENTS.

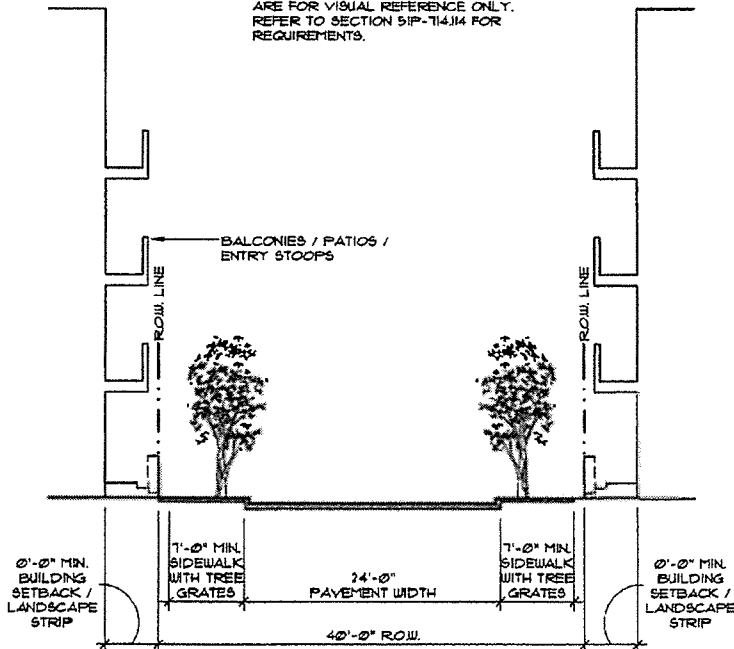


**STREET SECTION 1**

SCALE: 1/16" = 1'-0"



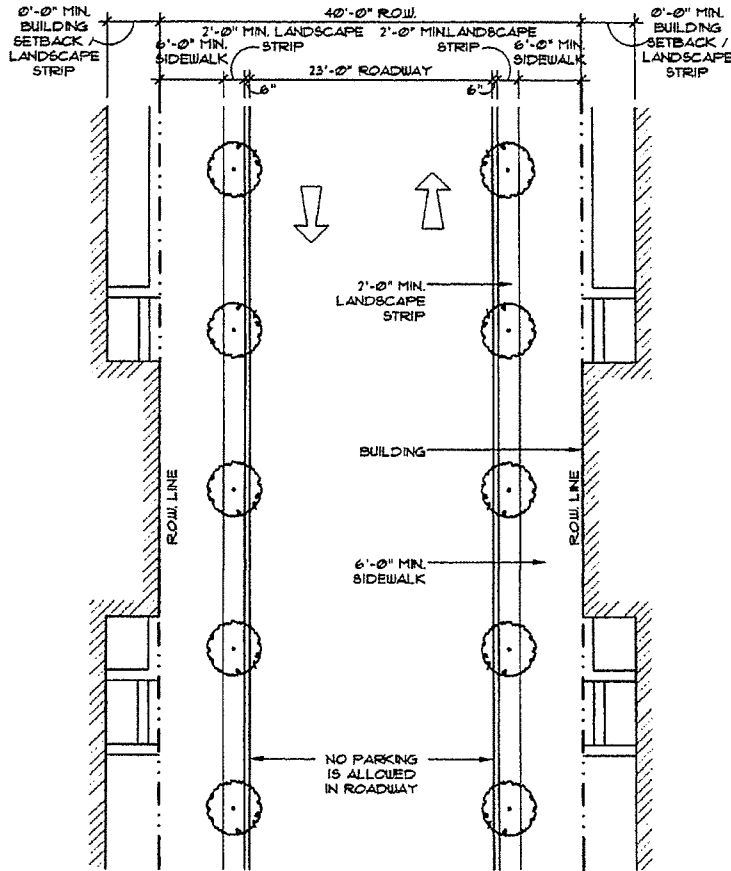
NOTE:  
TREES & TREE GRATES LOCATIONS  
ARE FOR VISUAL REFERENCE ONLY.  
REFER TO SECTION 51P-T14J14 FOR  
REQUIREMENTS.



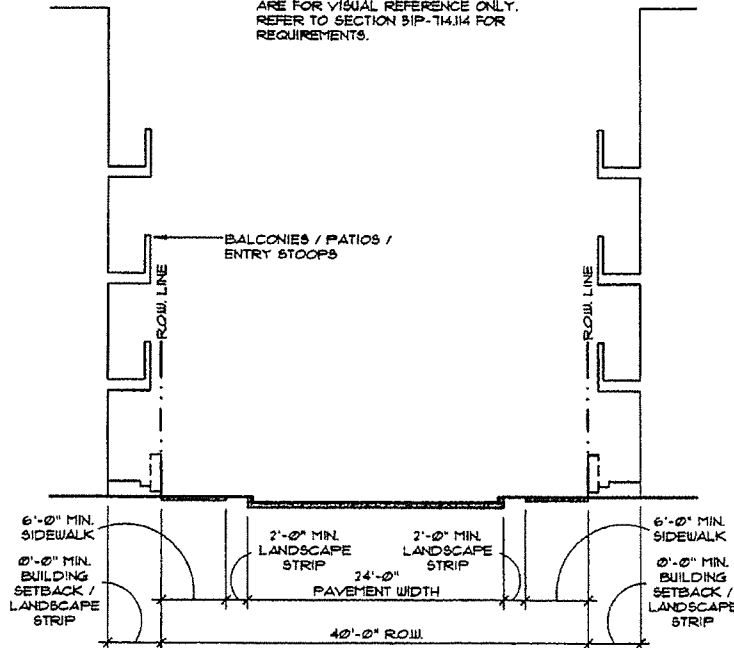
STREET SECTION 8

SCALE: 1/16" = 1'-0"

Approved  
City Plan Commission  
February 4, 2010



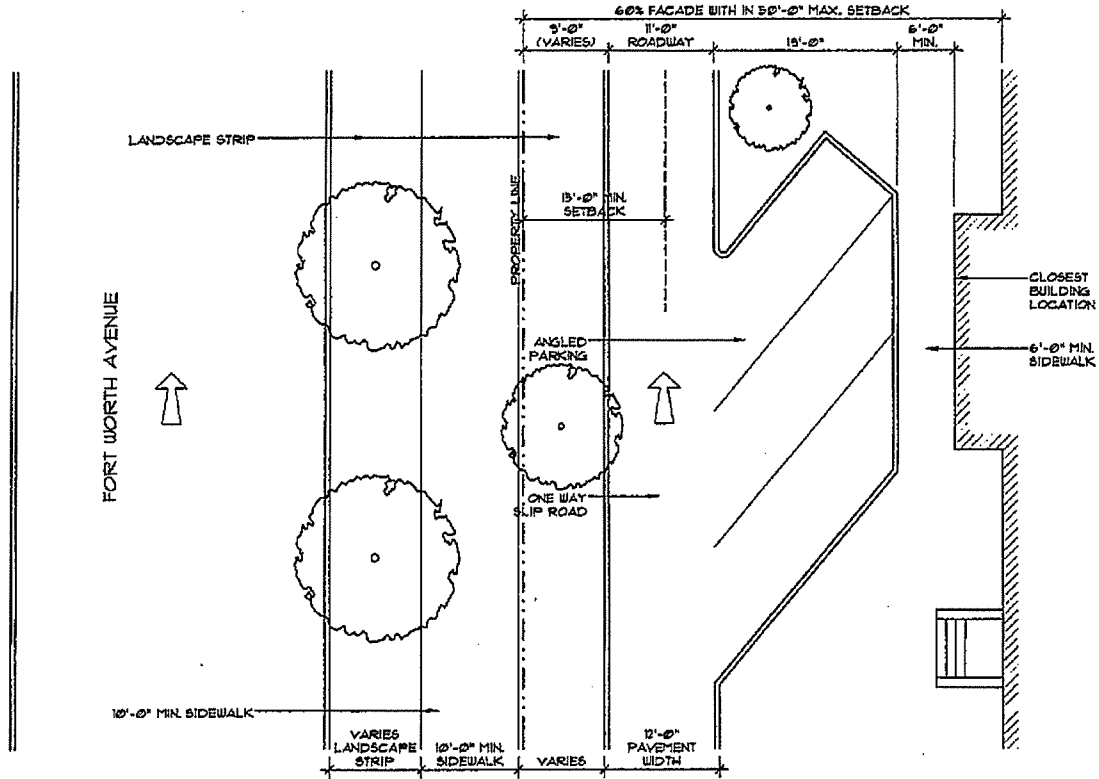
NOTE:  
TREES & TREE GRATES LOCATIONS  
ARE FOR VISUAL REFERENCE ONLY.  
REFER TO SECTION 51P-T14.14 FOR  
REQUIREMENTS.



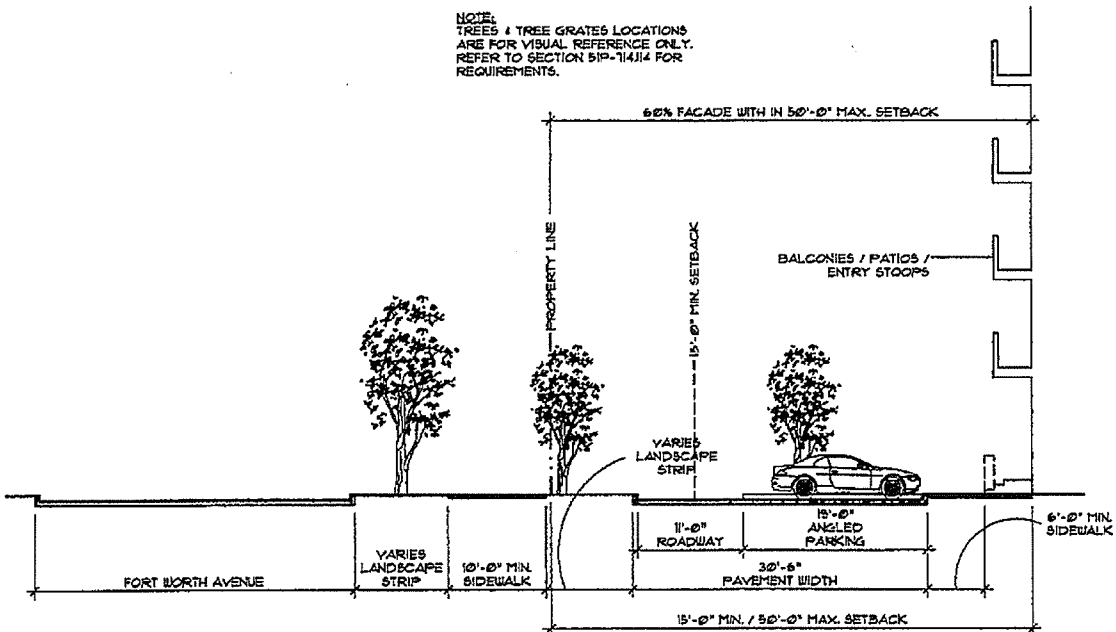
**STREET SECTION 9**

SCALE: 1/16" = 1'-0"

EXHIBIT 114F - SUBDISTRICT 4A



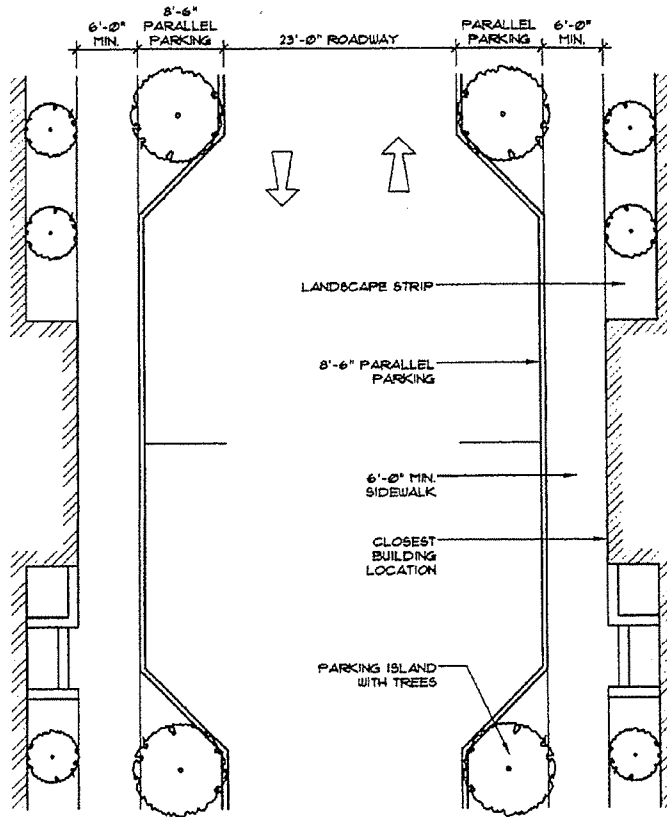
NOTE:  
TREES & TREE GRATES LOCATIONS  
ARE FOR VISUAL REFERENCE ONLY.  
REFER TO SECTION 51P-114J14 FOR  
REQUIREMENTS.



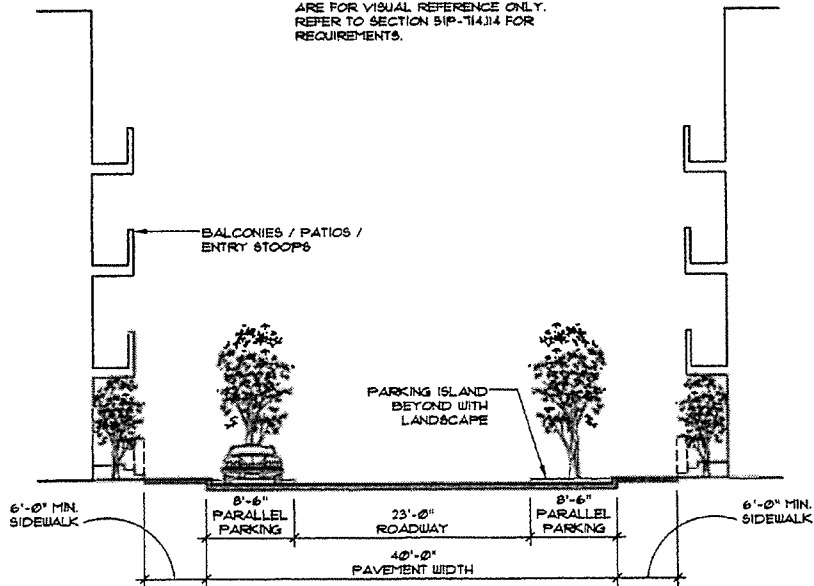
DRIVE SECTION 1

SCALE: 1/16" = 1'-0" FORT WORTH AVENUE SUBDISTRICT 4A

EXHIBIT 714F - SUBDISTRICT 4A



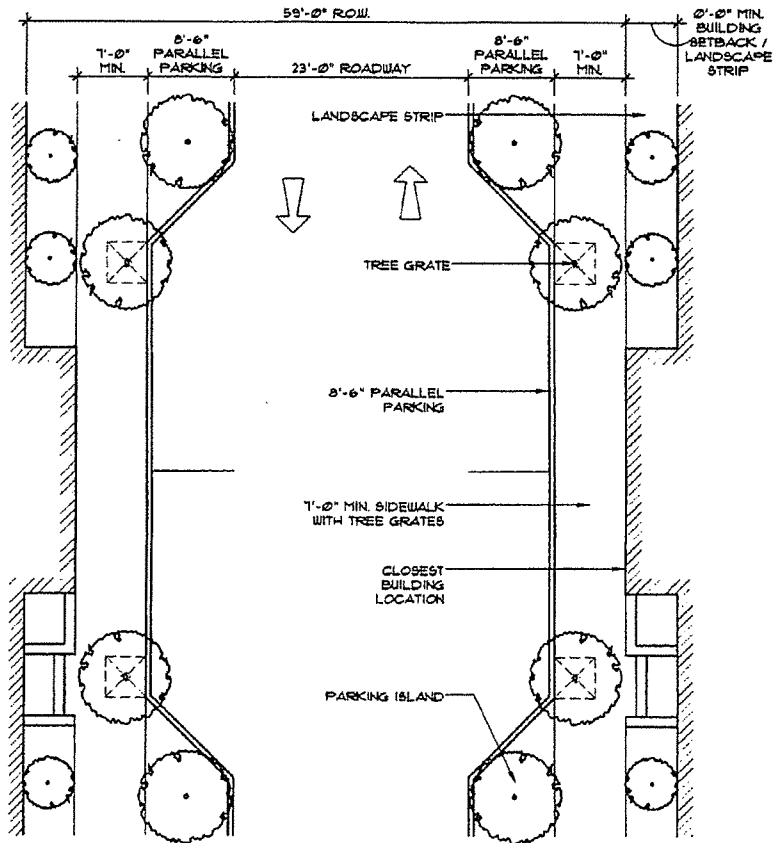
NOTE:  
TREES & TREE GRATES LOCATIONS  
ARE FOR VISUAL REFERENCE ONLY.  
REFER TO SECTION SIP-714.14 FOR  
REQUIREMENTS.



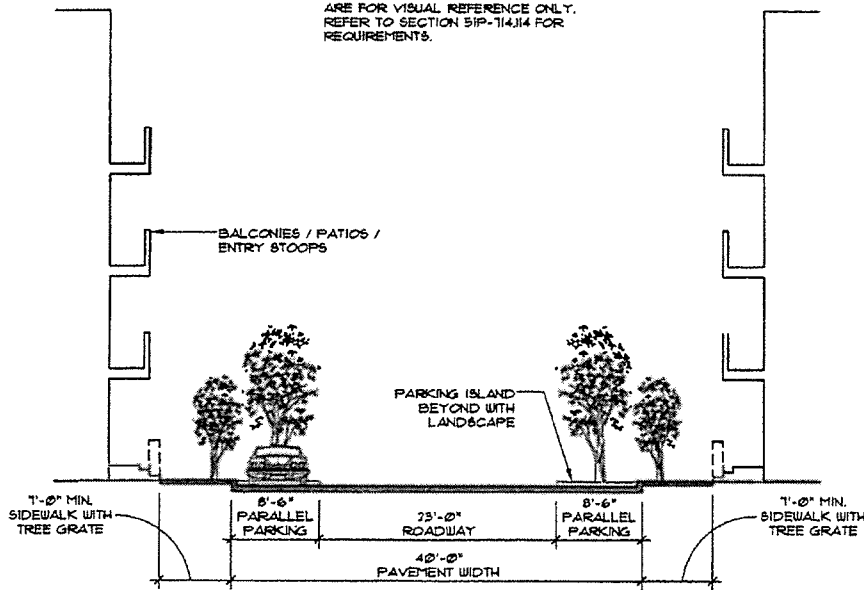
DRIVE SECTION 3

SCALE: 1/16" = 1'-0"

EXHIBIT 114F - SUBDISTRICT 4A



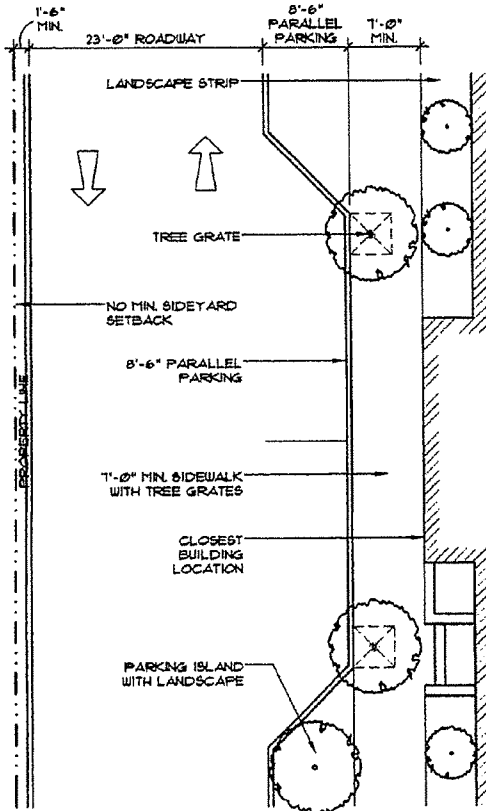
NOTE:  
TREES & TREE GRATES LOCATIONS  
ARE FOR VISUAL REFERENCE ONLY.  
REFER TO SECTION 51P-114.114 FOR  
REQUIREMENTS.



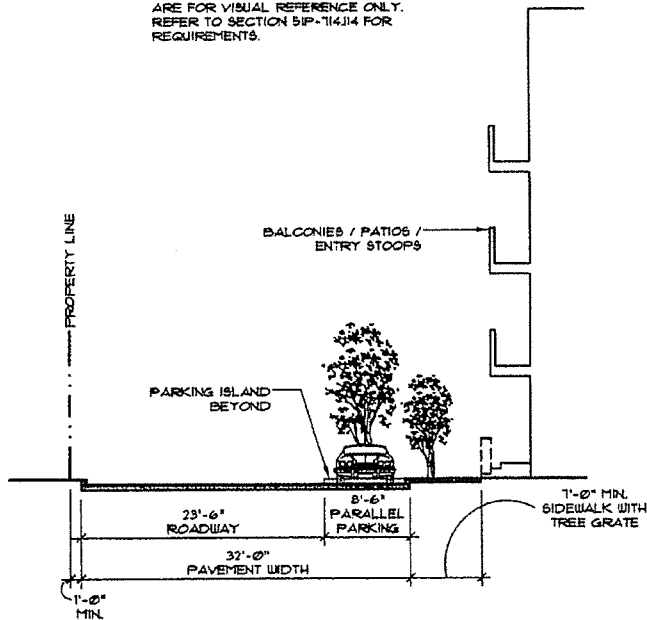
DRIVE SECTION 4

SCALE: 1/16" = 1'-0"



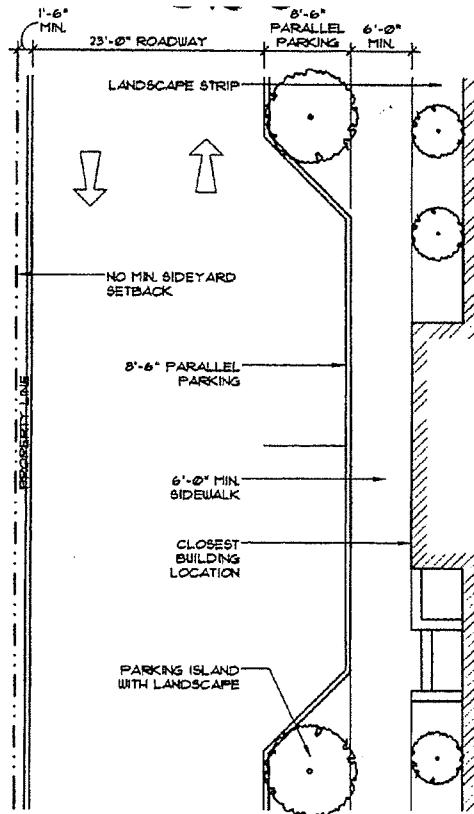


NOTE:  
 TREES & TREE GRATES LOCATIONS  
 ARE FOR VISUAL REFERENCE ONLY.  
 REFER TO SECTION 51P-714.114 FOR  
 REQUIREMENTS.

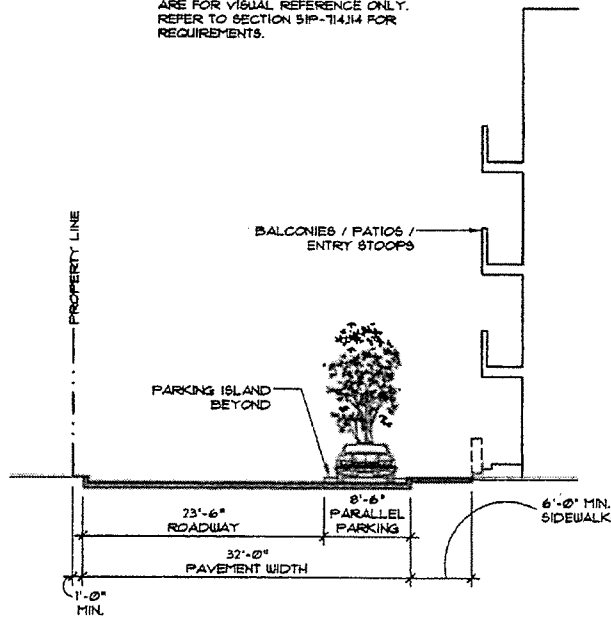


**DRIVE SECTION 5**

SCALE: 1/16" = 1'-0"

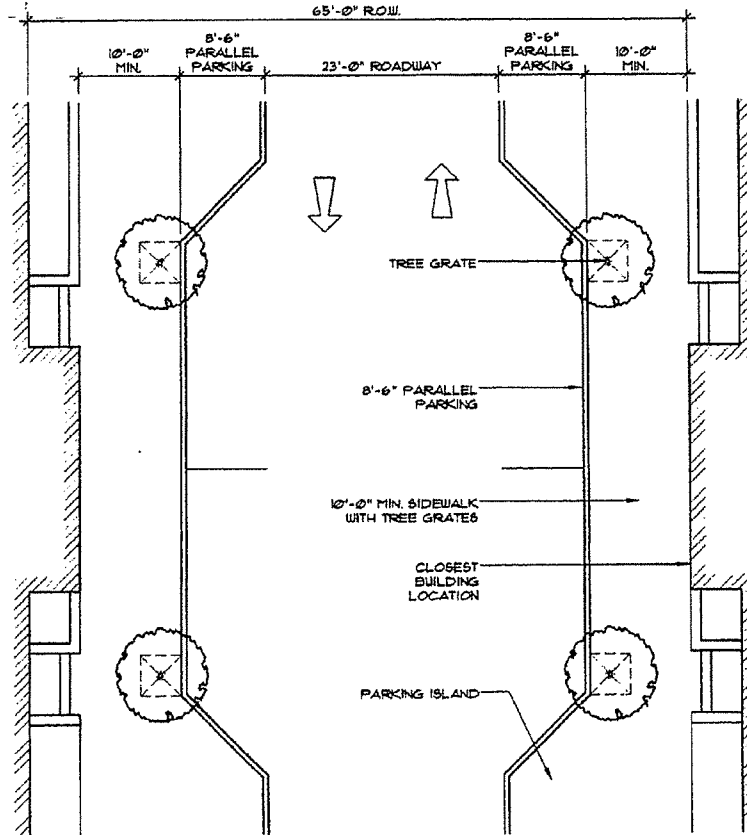


NOTE:  
 TREES & TREE GRATES LOCATIONS  
 ARE FOR VISUAL REFERENCE ONLY.  
 REFER TO SECTION 51P-714.14 FOR  
 REQUIREMENTS.

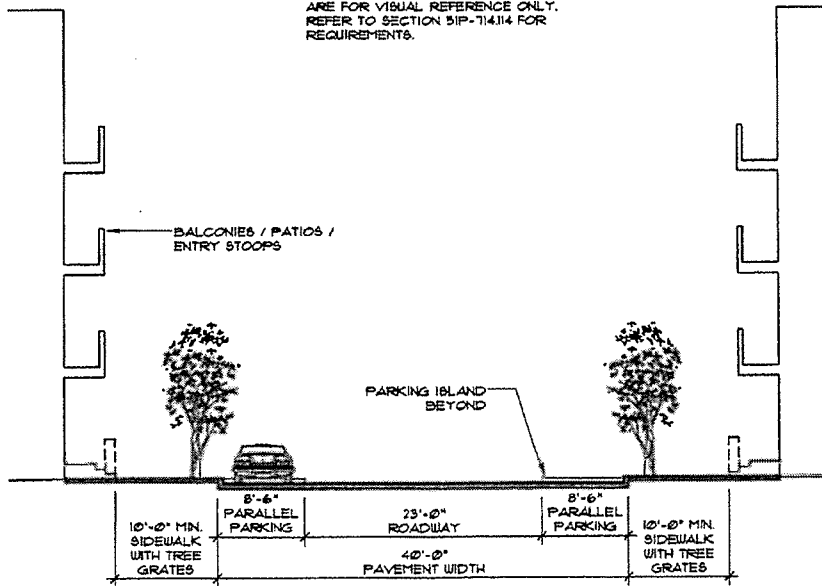


**DRIVE SECTION 6**  
 SCALE: 1/16" = 1'-0"

EXHIBIT 714F - SUBDISTRICT 4A



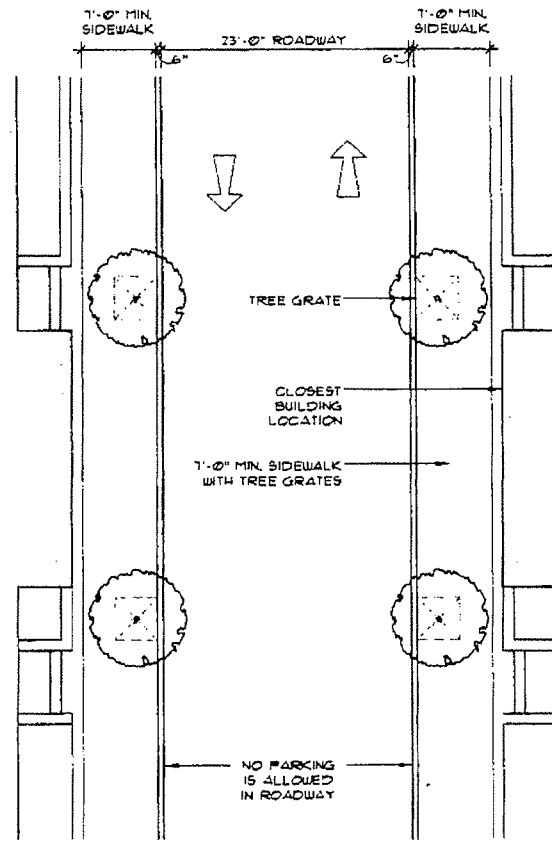
NOTE:  
TREES & TREE GRATES LOCATIONS  
ARE FOR VISUAL REFERENCE ONLY.  
REFER TO SECTION 51P-714.114 FOR  
REQUIREMENTS.



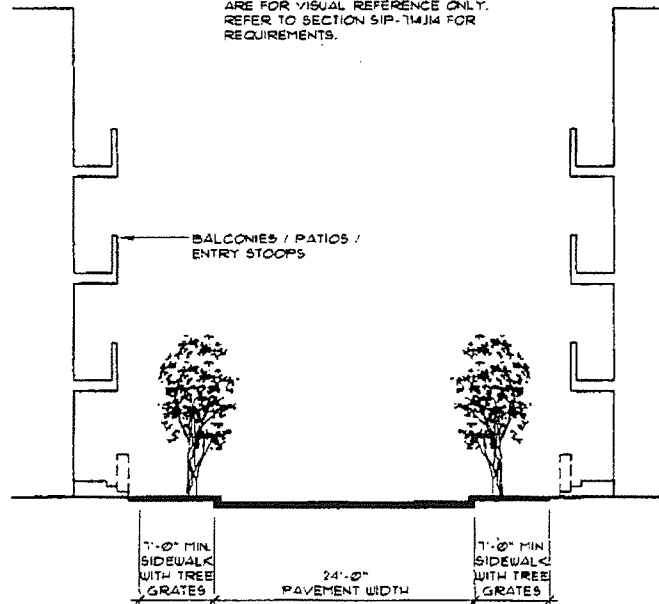
DRIVE SECTION 7

SCALE: 1/16" = 1'-0"

EXHIBIT 714F - SUBDISTRICT 4A



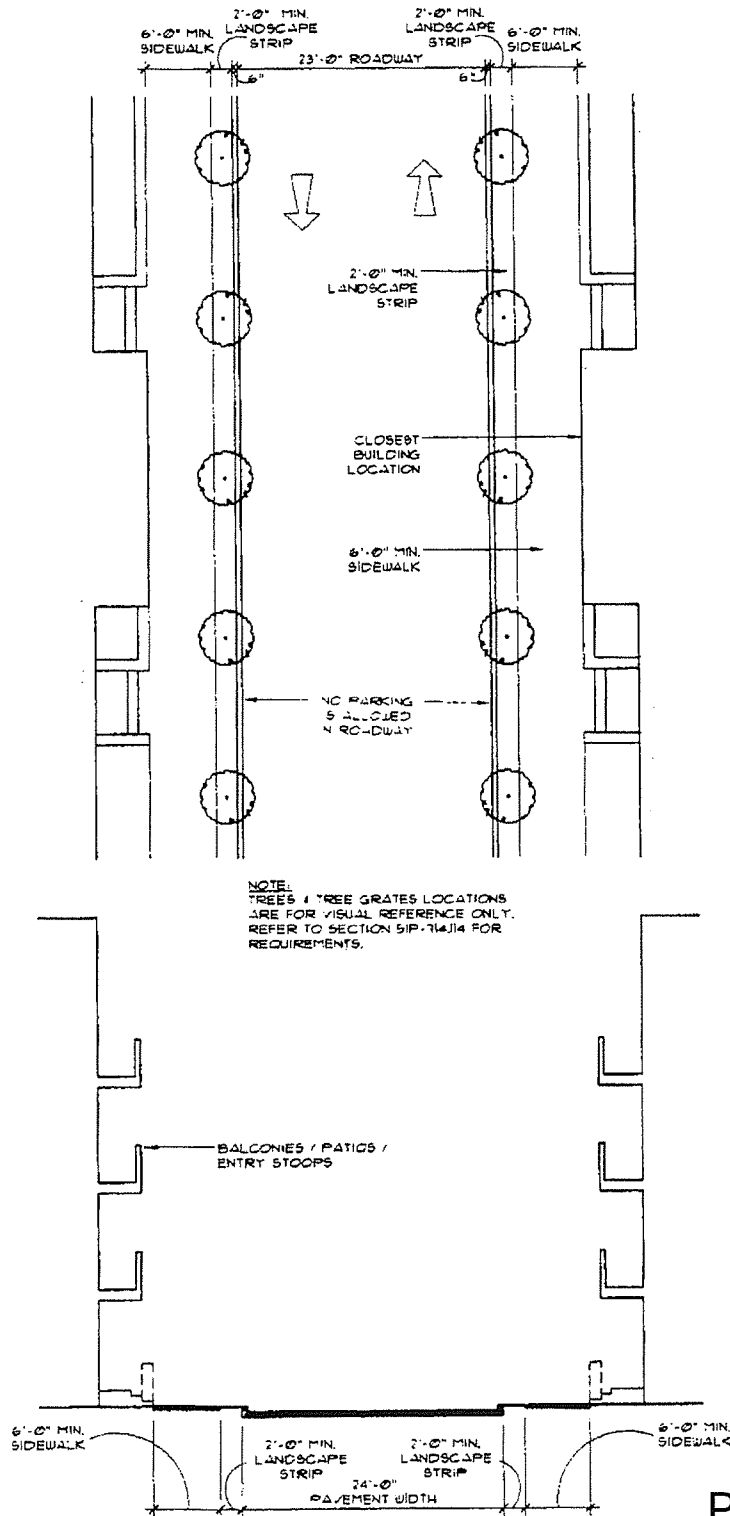
NOTE:  
TREES & TREE GRATES LOCATIONS  
ARE FOR VISUAL REFERENCE ONLY.  
REFER TO SECTION SIP-714J14 FOR  
REQUIREMENTS.



DRIVE SECTION 8

SCALE: 1/16" = 1'-0"

EXHIBIT 714F - SUBDISTRICT 4A



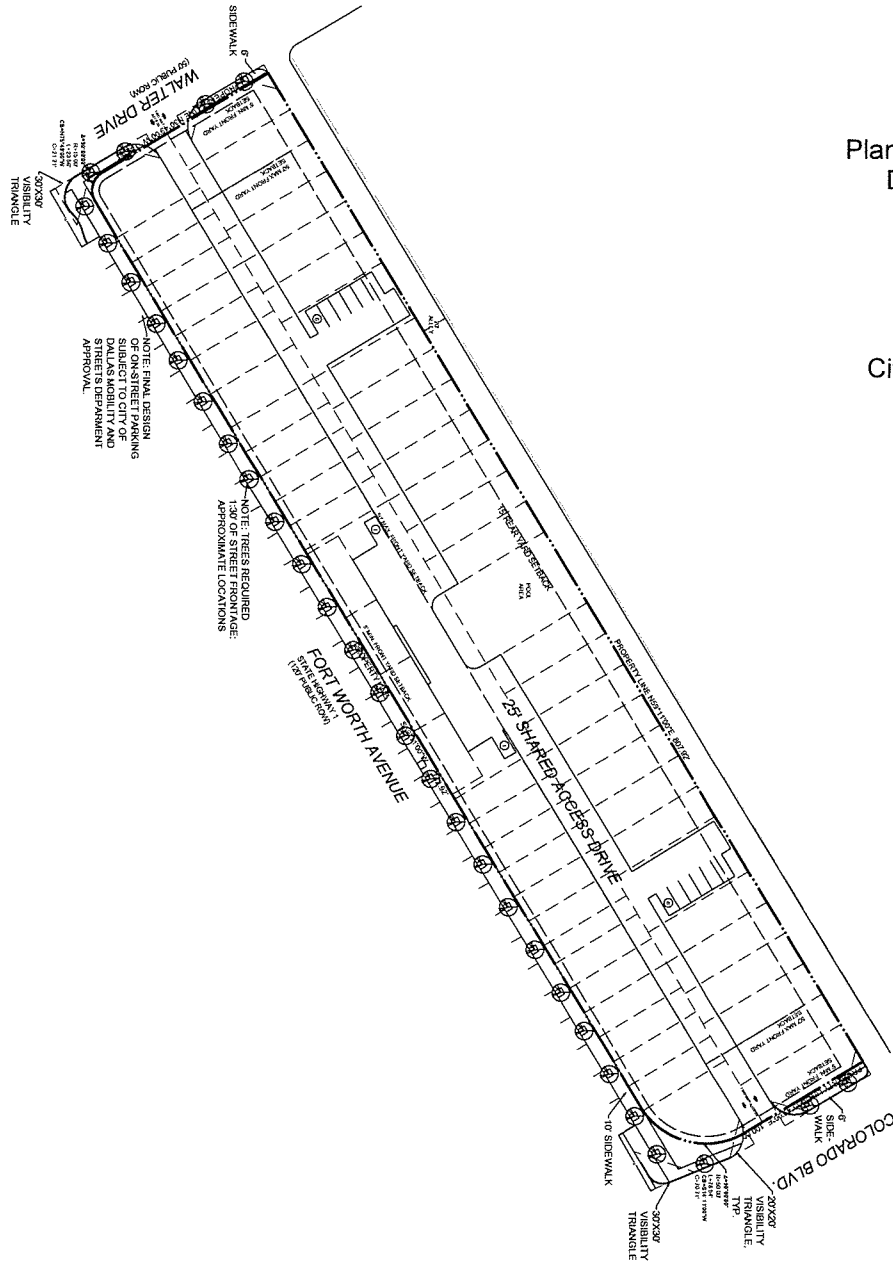
DRIVE SECTION 9

SCALE: 1/8" = 1'-0"



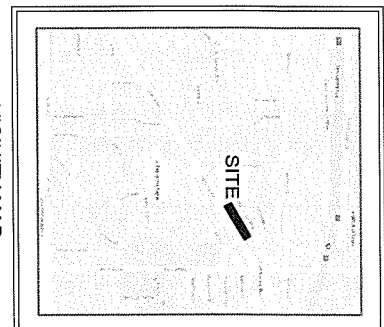
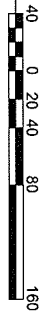
1

DEVELOPMENT PLAN  
SCALE: 1" = 40'-0"



Planned Development  
District No. 714

Approved  
City Plan Commission  
May 4, 2017



VICINITY MAP  
NTS



**SITE INFORMATION**

ZONING DISTRICT: PD 714  
SUB-DISTRICT: 4B  
SITE AREA: 120,346 SF  
2.7628 ACRES

SETBACKS  
FRONT YARD: 5' MIN, 50' MAX  
REAR YARD: 5' MIN, 50' MAX  
SIDE YARD: 5' MIN, 50' MAX

BUILD-TO REQUIREMENT:  
(OF EACH STREET FRONTAGE)  
SIDE YARD: 15'  
REAR YARD: 15'

BUILDING HEIGHT:  
(3 STOREYS)  
42' MAX

LOT COVERAGE: 90%  
MIN. LOT SIZE: NONE  
GUEST PARKING REQUIRED: 0.25/UNIT  
NOTE: INDIVIDUAL LOT LINES APPROXIMATE

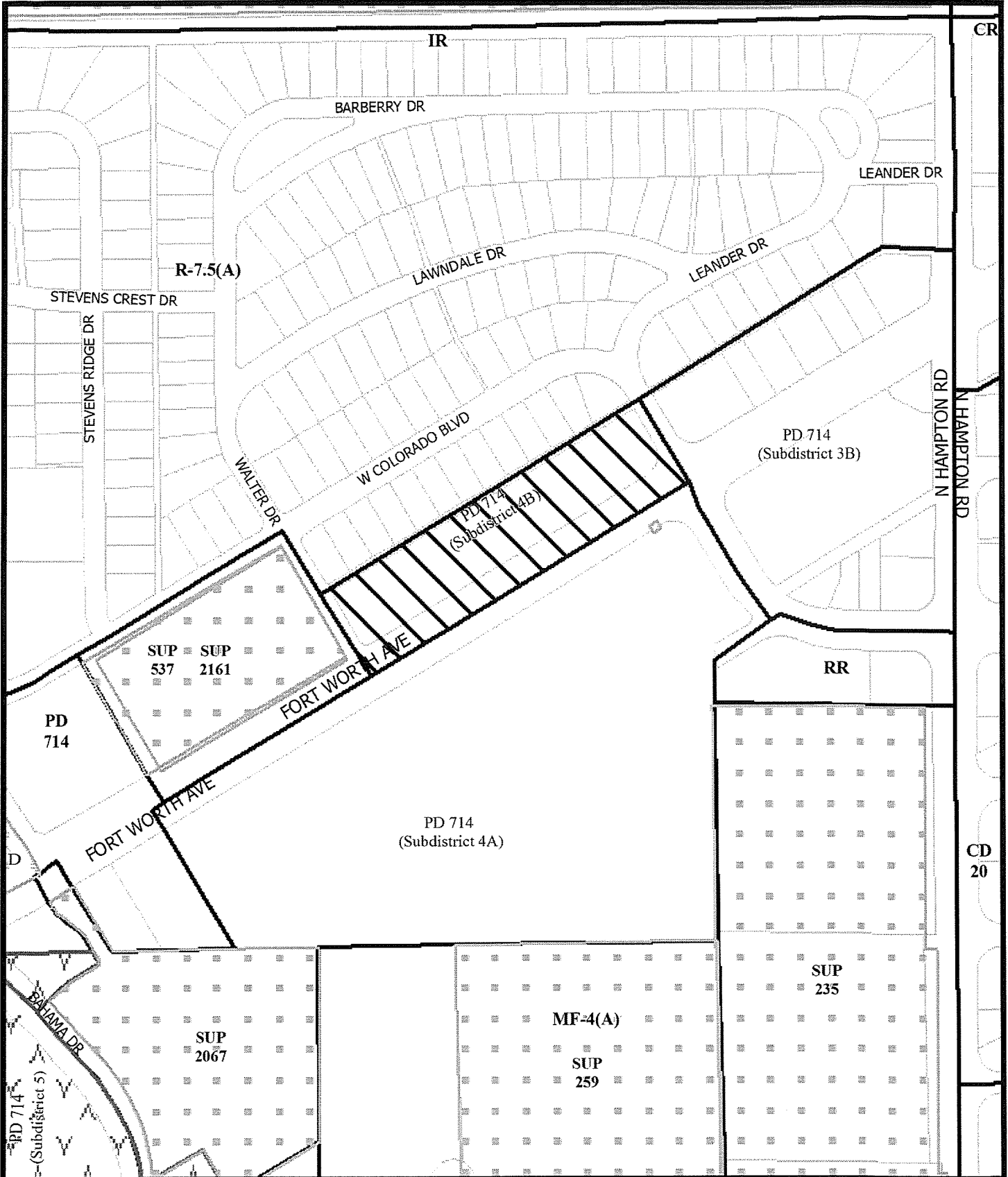
FORT WORTH AVENUE  
CITY OF DALLAS, TEXAS

**Baldwin**  
Associates

BALDWIN ASSOCIATES  
3904 Elm Street, Suite B  
Dallas, Texas 75226  
MOBILE: 214.729.7949  
OFFICE: 214.824.7949  
rob@baldwinplanning.com

05/09/2017

Z167-172



1:3,600

# ZONING MAP

Case no:           Z167-172          

Date:           2/1/2017



## PROOF OF PUBLICATION – LEGAL ADVERTISING

The legal advertisement required for the noted ordinance was published in the Dallas Morning News, the official newspaper of the city, as required by law, and the Dallas City Charter, Chapter XVIII, Section 7.

DATE ADOPTED BY CITY COUNCIL JUN 14 2017

ORDINANCE NUMBER 30491

DATE PUBLISHED JUN 17 2017

ATTESTED BY: